

### BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies

- sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and **no other** person will be providing any additional memoranda for the project
- lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the **other** designers will provide their own memorandum relating to their specific RBW design
- specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

### IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

s 9(2)(a)

I [REDACTED] carried out / supervised the following design work that is restricted building work

#### PRIMARY STRUCTURE: B1

| Design work that is RBW  | Description of RBW                         | Carried out or supervised  | Reference to plans and specifications |
|--|--|--|---------------------------------------|
| Tick <input checked="" type="checkbox"/> if included.<br>Cross <input checked="" type="checkbox"/> if excluded | If appropriate, provide details of the RBW | Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work | If appropriate, specify references    |
| <b>All</b> RBW design work relating to B1  | <input checked="" type="checkbox"/>        | <input type="radio"/> Carried out<br><input type="radio"/> Supervised  |                                       |
| Foundations and subfloor framing   | <input checked="" type="checkbox"/>        | <input type="radio"/> Carried out<br><input type="radio"/> Supervised  |                                       |

| Design work that is RBW  | Description of RBW   | Carried out or supervised  | Reference to plans and specifications                                    |
|--|--|--|--|
| Tick <input checked="" type="checkbox"/> if included.<br>Cross <input checked="" type="checkbox"/> if excluded | If appropriate, provide details of the RBW                           | Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work | If appropriate, specify references                                       |
| Walls  | <input checked="" type="checkbox"/> Ground floor timber framed walls | <input checked="" type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised   | Plans on S-02 & S-03<br>Sections on S-04 - S-07 & details on S-09 & S-10 |
| Roof   | <input type="checkbox"/>   | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Columns and beams  | <input type="checkbox"/>   | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Bracing  | <input type="checkbox"/>   | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Other  | <input type="checkbox"/>   | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |

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| Design work that is RBW  | Description of RBW   | Carried out or supervised  | Reference to plans and specifications                        |
|--|--|--|--|
| Tick <input checked="" type="checkbox"/> if included.<br>Cross <input checked="" type="checkbox"/> if excluded | If appropriate, provide details of the RBW                   | Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work | If appropriate, specify references                           |
| <b>EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2</b>  |  |  |  |
| <b>All</b> RBW design work relating to E2 <input type="checkbox"/>   |  | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Damp proofing <input type="checkbox"/>   |  | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Roof cladding or roof cladding system <input checked="" type="checkbox"/>                                      | Profiled metal roof cladding system and membrane roof system | <input checked="" type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised   | Sections on sheets 5-04-5-07 & details on sheets 5-09 & 5-10 |
| Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>                                  |  | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised  |  |
| Wall cladding or wall cladding system <input checked="" type="checkbox"/>                                      | Timber weatherboard wall cladding system                     | <input checked="" type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised   | Sections on sheets 5-04-5-08 & details on sheets 5-09 & 5-10 |
| Waterproofing <input checked="" type="checkbox"/>  | Waterproofing to the whole of the building                   | <input checked="" type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised   | Sections on sheets 5-04-5-08 & details on sheets 5-09 & 5-10 |
| Other <input checked="" type="checkbox"/>  | Fixed window joinery   | <input checked="" type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised   | Details on sheets 5-09, 5-10, 5-16 & 5-17                    |



| Design work that is RBW  | Description of RBW                         | Carried out or supervised  | Reference to plans and specifications |
|--|--|--|---------------------------------------|
| Tick <input checked="" type="checkbox"/> if included.<br>Cross <input checked="" type="checkbox"/> if excluded | If appropriate, provide details of the RBW | Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work | If appropriate, specify references    |

**FIRE SAFETY SYSTEMS: C1 - C6**

|   |                                     |   |  |
|---|-------------------------------------|---|--|
| Emergency warning systems                     |                                     |   |  |
| Evacuation and fire service operation systems | <input checked="" type="checkbox"/> | <input type="checkbox"/> Carried out<br><input type="checkbox"/> Supervised |  |
| Suppression or control systems                |                                     |   |  |
| Other   |                                     |   |  |

**Note:** The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

**WAIVERS AND MODIFICATIONS**

Waivers or modifications of the Building Code are required.  Yes  No

If Yes, provide details of the waivers or modifications below:

| Clause  | Waiver/modification required                                       |
|---|--|
| List relevant clause numbers of building code | Specify nature of waiver or modification of building code required |
|   |  |
|   |  |
|   |  |



**ISSUED BY**

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: s 9(2)(a)

LBP or Registration number: BPI24743

The practitioner is a:  Design LBP  Registered architect  Chartered professional engineer

Design Entity or Company (optional):

Mailing address (if different from below):

Street address/Registered office: s 9(2)(a)

Suburb: —

Town/City: s 9(2)(a)

PO Box/Private Bag: —

Postcode: s 9(2)(a)

Phone number: s 9(2)(a)

Mobile: s 9(2)(a)

After hours: 11


Fax: —

Email address: CADServices@xtra.co.nz Website: —

**DECLARATION**

I, s 9(2)(a) LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: 

Date: 15/12/2016

## PART ONE: Application for determination

### SECTION 178, BUILDING ACT 2004

Part One is equivalent to Form 14 in the Building (Forms) Regulations 2004

#### A. TO APPLY FOR A DETERMINATION

1. Complete Part One and the first section of Part Two.
2. Post three copies of the application and supporting documentation, along with payment of the fee, to:  
**Determinations and Assurance**  
**Ministry of Business, Innovation and Employment**  
**PO Box 1473, Wellington 6140, New Zealand**  
  
Alternatively scan your application and all supporting documentation and email to [XXXXXXXXXXXX@XXXX.XXXX.XX](mailto:XXXXXXXXXXXX@XXXX.XXXX.XX) .  
Fees may also be paid by direct credit (see section K).
3. Post Part Two and a copy of your application and supporting documentation to each of the other parties. The other parties will fill in Part Two and return it to us. All parties can send a written response to the Ministry setting out their views on the matter in dispute.

#### B. APPLICANT(S) DETAILS

You need to make sure you are legally able to apply for a determination. Read through section D first to make sure you are a 'party' as defined in section 176 of the Act.

Name: *[include preferred form of address, eg, Mr, Miss, Dr, if an individual]*

Contact person: *[if more than one applicant or the applicant is an organisation]*

Mailing address:

§ 9(2)(a)

Phone number: § 9(2)(a)

Daytime:

Landline:

After hours:

Mobile:

Facsimile number:

Email address: § 9(2)(a)





### C. AGENT'S DETAILS

Fill in this section if you want someone else to represent you; that person becomes your agent and we will send all correspondence and copies of documents to them.

You must sign this section if you are appointing an agent.

**I/we appoint the following to act as my/our agent in this determination:**

Name:

Mailing address:

Phone number:

Email address:

**Signed:** *[by the applicant]*

**Date:**

### D. THE APPLICANT IS

Please tick only the boxes that describe you. You may have to tick more than one box, for example you may be the owner of the building and the licensed building practitioner.

- The owner of the building
- The territorial authority of the district in which the building is located
- The building consent authority responsible for consenting the building work
- The licensed building practitioner concerned with the relevant building work
- The owner of other property (as defined in section 7 of the Building Act 2004) affected by the building work:  
*[include details of the property so affected: street address and legal description and the provision of the Building Code that requires the property to be protected]*
- The regional authority of the region in which the dam is located
- A person who has a direct interest in the matter for determination if the matter for determination relates to the provision of access and facilities for persons with disabilities: *[state the nature of the direct interest]*
- A person or organisation who or that has a right or obligation under any other Act to give written notice to a territorial authority about Building Act matters: *[state details of the relevant right or obligation]*

**E. OTHER PARTIES**

You may need to choose more than one of these. In many cases the only other party is the council. Each party needs to be given a copy of the application so they are aware that the application has been made. Each party can make a submission in response to the application should they wish to do so.

**Copies of this application have been sent to all the parties named below**

**The other parties to this application are:** *[state names and mailing addresses, and email address if known]*

|                  |   |
|------------------|---|
| Name:            | Who is:<br><br><input type="radio"/> the owner of the building<br><br><input type="radio"/> the council (either as the territorial authority of the district in which the building is located, or the building consent authority responsible for consenting the building work)<br><br><input type="radio"/> the licensed building practitioner concerned with the relevant building work<br><br><input type="radio"/> the regional authority of the region in which the dam is located<br><br><input type="radio"/> a person or organisation who or that has a right or obligation under any other Act to give written notice to a territorial authority about Building Act matters <i>[give details of the relevant right or obligation]</i> |
| Mailing address: |   |
| Email address:   |   |
| Name:            | Who is:<br><br><input type="radio"/> the owner of the building<br><br><input type="radio"/> the council (either as the territorial authority of the district in which the building is located, or the building consent authority responsible for consenting the building work)<br><br><input type="radio"/> the licensed building practitioner concerned with the relevant building work<br><br><input type="radio"/> the regional authority of the region in which the dam is located<br><br><input type="radio"/> a person or organisation who or that has a right or obligation under any other Act to give written notice to a territorial authority about Building Act matters <i>[give details of the relevant right or obligation]</i> |
| Mailing address: |   |
| Email address:   |   |

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## F. THE BUILDING (OR DAM)

Fill in only the relevant parts.

**The building work is:** *[tick the boxes that describe the building work - you may have to tick more than one box]*

|                                 |   |
|---------------------------------|---|
| <input type="radio"/> Proposed  | <input type="radio"/> A new building                        |
| <input type="radio"/> Underway  | <input type="radio"/> An alteration to an existing building |
| <input type="radio"/> Completed | <input type="radio"/> A change of use                       |

Street address: *[for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection]*

Legal description of land where the building (or dam) is located: *[state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent]*

Building (or Dam) name:

Current, lawfully established, use: *[include number of occupants per level and per use if more than one use]*

Year first constructed:

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## G. MATTER FOR DETERMINATION

This section lists what you can apply for a determination about. Tick the boxes that apply to the circumstances and complete a description of the relevant building work at the end.

This determination application is made in respect of the following building work: *[State details of the building work. If there is insufficient room please include the description in an attached document and refer to that document here.]*

I apply for a determination in relation to the following matter/s:

(a) Whether the following building work complies with the building code:

(b) The decision\* of the building consent authority or territorial authority to:

issue, or  refuse to issue

- a building consent
- an amendment to a building consent
- a code compliance certificate
- a compliance schedule
- an amendment to a compliance schedule
- a notice to fix
- a certificate of acceptance
- a waiver or modification
- an exemption from building consent requirements under paragraph (2) of Schedule 1
- a certificate for public use
- a certificate under section 224(f) of the Resource Management Act

refuse to allow an extension to the period:

- during which building must be commenced before a building consent lapses
- during which the authority must decide whether to issue a code compliance certificate

issue, or  fail to issue  
a notice in relation to:

- a dangerous building
- an affected building
- an earthquake-prone building
- an insanitary building

exercise, or  fail to exercise its power of decision in relation to a dam

\* The Act provides for a determination on the exercise, failure or refusal to exercise, or proposed or purported exercise by an authority of a power of decision



## H. RELATED APPLICATIONS

You probably won't have to fill in this section. You only have to tell us if we have already received an application for a determination about the same problem or work. For example, if you are having a problem with a neighbour's building, you will need to tell us if you know that another neighbour has already applied for a determination.

The following applications have been made and are related to this application: *[give date of application and name of applicant]*

## I. HEARING

In most cases a determination is made on the basis of the written submissions and information provided by the people involved. However you may also request a hearing.

A hearing is a meeting convened by the Ministry to which all the parties are invited to attend; it gives the parties an opportunity to present their view and respond to the views of the other parties. A draft determination is provided for the parties to comment on before confirming whether they wish to have a hearing.

Please indicate whether you wish to have a hearing

- I request that the Chief Executive hold a hearing on this application so that I may speak and present evidence
- I wish to give written/spoken evidence in te reo Māori
- I do not seek a hearing on the matter, but I wish to attend if one is held
- I do not want to attend a hearing

## J. ATTACHMENTS

Attachments are the documents provided to the Ministry that help support your view. Attachments can include such information as correspondence about the dispute, reports, plans and specifications. Attachments should be clearly labelled and referenced in the application itself.

Please provide as much information as you can that is relevant to the issue you are applying for.

**The following documents are attached to this application:**

- plans *[list sheet numbers]*
- specifications
- correspondence relating to the building work or the dispute
- photographs
- a summary of events/background to the dispute
- a submission setting out my view on the matter
- other: *[please describe. If there is insufficient room please include the description in an attached document and refer to that document here.]*

**K. FEE**

For single houses, attached houses, flats and apartments up to four units, and garages and sheds, the fee is \$287.50 (including GST).

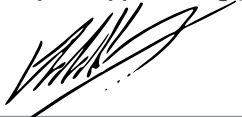
For all other buildings the fee is \$575.00 (including GST).

- the correct fee is enclosed
- the correct fee has been paid by direct credit to:  
03-0049-0005128-00

*[if paying by direct credit please include the word "determination" and your surname in the reference fields]*

**L. SIGNATURE**

**Signed by the applicant/agent:**



**Date:**

**Name and position:** *[Only required if applicant is not an individual and application is signed by an authorised officer or agent of the applicant]*



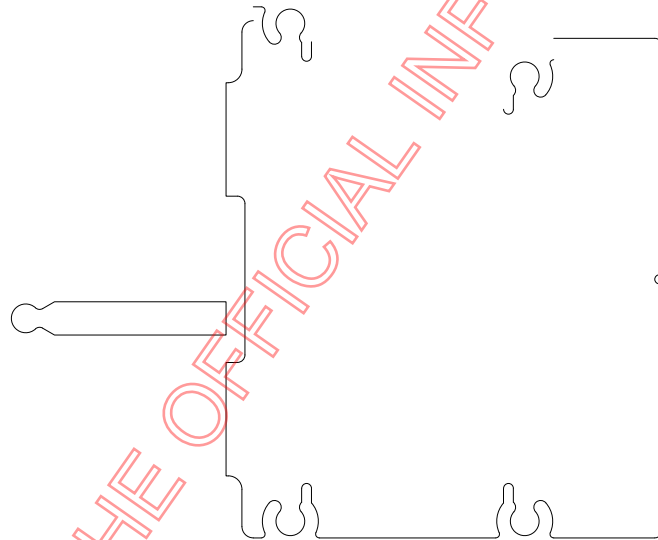
If you have any questions regarding completing this form, please contact the Ministry on **0800 242 243**.

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Oakley Commercial  
Oakley Flushed Glazed 106mm  
Structural - Double Glazing - Transom

QuickCode:A3FG1\_T2T



0800 397 263

technical@fwds.co.nz  
www.designresource.co.nz

Disclaimer: This information is intended solely as a guide for use of Fletcher Aluminium products. Before using you should ensure that the product is suitable for use in the specific application. Nothing in this information constitutes a statement of fitness for particular purpose and appropriate expert advice is to always be obtained. Fletcher Aluminium makes no warranty regarding the use of this information with non-Fletcher Aluminium products. This drawing is the property of Fletcher Aluminium.

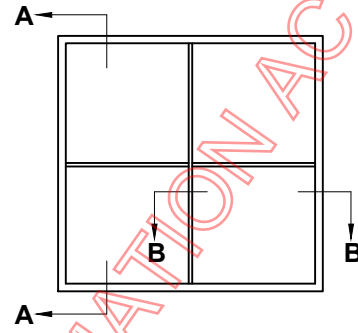
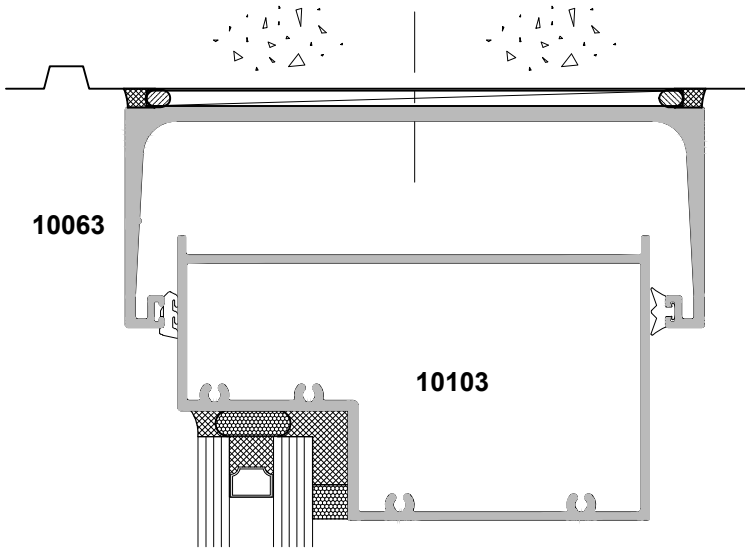


**125MM STRUCTURAL GLAZED SYSTEM  
DOUBLE GLAZED, SEISMIC SYSTEM  
CROSS SECTION**

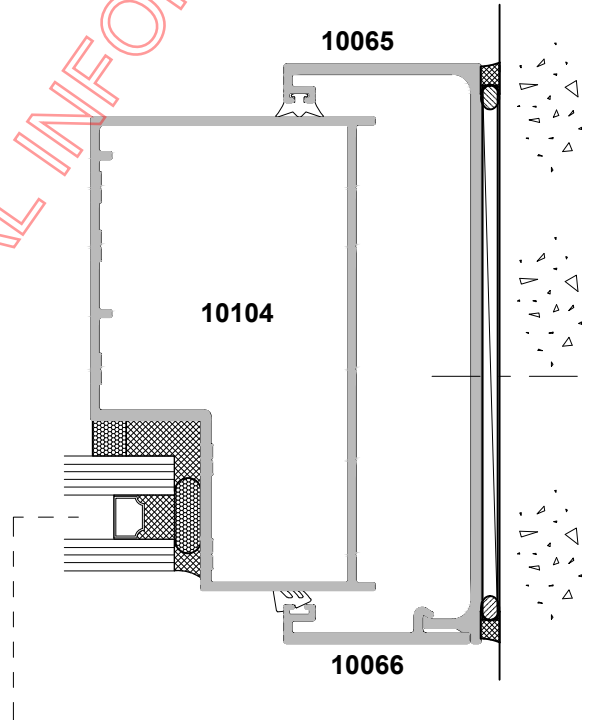
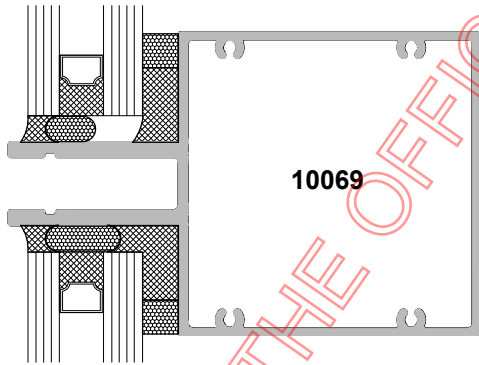
CAD REF. VCSG01-0

DATE  
01.04.17

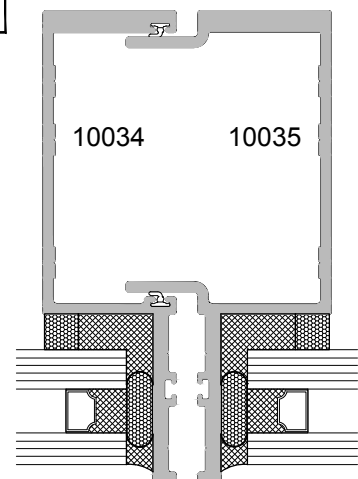
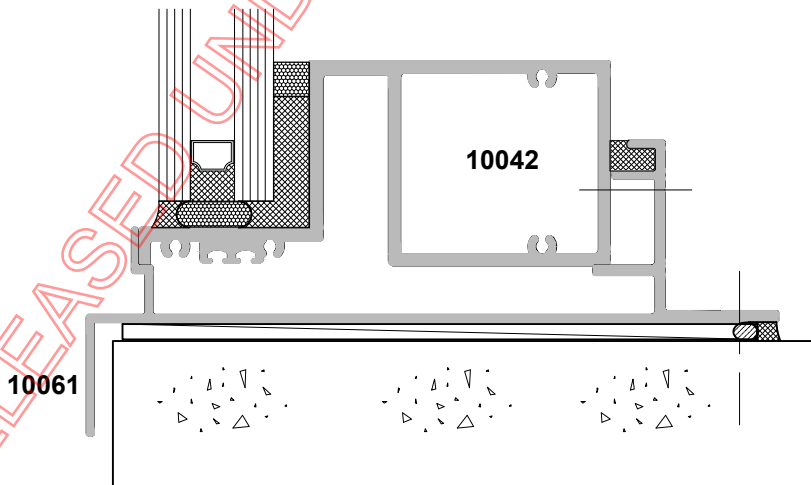
SCALE  
1:2



**SECTION A-A**



**SECTION B-B**





# Producer statement design (PS1)

PS1 no: /2017

**Auckland Council**  
Te Kaunihera o Tāmaki Makaurau



**TO BE COMPLETED BY THE DESIGN PROFESSIONAL WHO HAS BEEN ENGAGED TO PROVIDE A PS1**

Author name:  Author number:

Author company:

Building consent N°:

Site address:

Legal description:

Engaged by:  (Owner)

To provide design services in respect of:  part  all  (describe work)

NZBC clauses: (circle as applicable)

|    |    |    |    |     |     |     |     |     |     |    |    |    |
|----|----|----|----|-----|-----|-----|-----|-----|-----|----|----|----|
| B1 | B2 | C1 | C2 | C3  | C4  | C5  | C6  | D1  | D2  | E1 | E2 | E3 |
| ✓  | ✓  |    |    |     |     |     |     |     |     |    | ✓  |    |
| F1 | F2 | F3 | F4 | F5  | F6  | F7  | F8  | G1  | G2  | G3 | G4 | G5 |
|    | ✓  |    | ✓  |     |     |     |     |     |     |    |    |    |
| G6 | G7 | G8 | G9 | G10 | G11 | G12 | G13 | G14 | G15 | H1 |    |    |

NB: all statements must include B2

The design has been prepared in accordance with:

Documents issued by the Ministry of Business Innovation & Employment  (verification method / acceptable solution)

Alternative solution (attach schedule if required)

The proposed building work covered by this producer statement design is described on the drawings referenced below, together with the specifications and other documents set out in the schedule attached to this statement:

Drawing title:  Drawing numbers:

The producer statement is subject to:

(i) Site verification of the following design assumptions:

(ii) All proprietary products meeting their performance specification requirements

I believe on reasonable grounds that the proposed building work, will comply with the relevant provisions of the Building Code if constructed in accordance with the drawings, specifications and other documents provided or listed with this statement.

I understand that Auckland Council is reliant on this producer statement for the purposes of establishing compliance with the relevant provisions of the Building Act 2004, Building Regulations and Building Code. I confirm that I hold a current policy of professional indemnity insurance to the value required by Auckland Council.

Construction monitoring is:  Not required  Required (if required please list below)

(Agreement must be attached)

Signed by:



Date:

1-5-17

Address:

65 Carr Road, Mt Roskill

Postcode:

1440

Phone:

09 639 2029

Fax:

09 624 2280

Mobile:

s 9(2)(a)

Email:

s 9 @viridianglass.co.nz

## COMMENTS

### Assumptions:

1. Extra high wind zone
2. Three drain holes with a minimum diameter of 10 mm, or slots 20 mm x 5 mm, must be provided under each insulating glass unit in accordance with NZS 4666. Glazing is undertaken strictly in accordance with NZS 4666.
3. Typical mullion and transom details are approved by Dow Corning before commencement of work. The sealant bite size and glue line must be dimensioned.
4. Glass and all other substrates in contact with sealants are tested for adhesion and compatibility, and approved by Dow Corning before commencement of work.
5. At least two insulating glass units are deglazed from the windows and evaluated by Dow Corning agent to ensure satisfactory adhesion between sealant and frame.
6. Insulating glass units is made up of Viridian 8 mm toughened safety Performatech glass + 16 mm argon cavity + 10 mm clear toughened safety glass.
7. Cleaning of glass and frame is carried out strictly in accordance with Dow Corning instructions.
8. Glazing is carried out in a dust free environment.
9. This PS1 does not cover the design of the window frames.
10. In respect of E2, this PS1 only covers the design of the glazing, but not window frames or flashings.

### Important notes:

- Producer statements are accepted solely at Auckland Council's discretion; please refer to the Producer Statement Policy which can be found on Council's website for further details <http://www.aucklandcouncil.govt.nz/EN/ratesbuildingproperty/consents/Consent%20documents/ac2301producerstatementpolicy.pdf>

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Dow Corning DC  
121 or 795 structural  
silicone and double sided  
structural tape  
Allow 12mm bite

Drainage slots here

Setting blocks  
to support inner  
pane and half  
the thickness of  
the outer pane

12mm  
structural  
silicone  
bite

DC121  
or 795  
weatherseal

Viridian  
Glass  
1-5-17



# WATER TIGHT RESULTS

Quality Assurance & Diagnostic Water Leakage Report

Unit \_\_\_\_\_ Address 6 ISLAND BAY RD, BEACH HAVEN, AUCKLAND 0626

Testing Agency: WATER TIGHT RESULTS

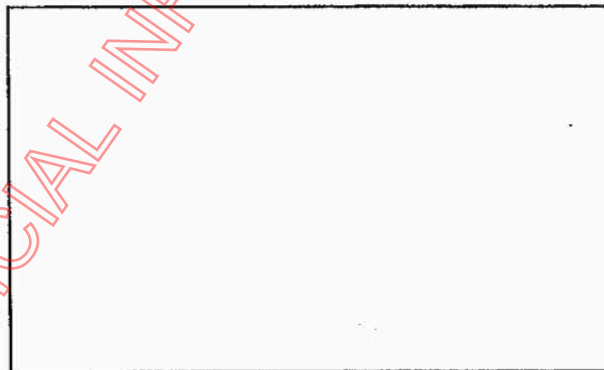
Technician Name: s 9(2)(a)

Test Period Dates: 24 MARCH 2017 @ 10AM

Weather Conditions: Fine

Description & location of the facade elements under test.

- CRITICAL JUNCTIONS TESTED  
see diagram (A) attached.
- WAZZ TEST APPLIED  
see (B) attached



Draw diagram of location

Description of extend of any water leakage

- 1: (NIL)
- 2: Dampness indicated no water evident
- 3: Dampness indicated with water evident
- 4: Water droplets at drip points
- 5: Water flowing
- 6: Evidence of continued leakage

*This report records the findings and determinations for the designated test method as applied to the areas specified at the time indicated and makes no assurance or consideration of the integrity or efficacy of the building in any other respect or performance or under any conditions of the tested area not replicated by this test.*

Technician:  
Name: s 9(2)(a)  
Signature: [Signature]  
Date: 24 March 2017

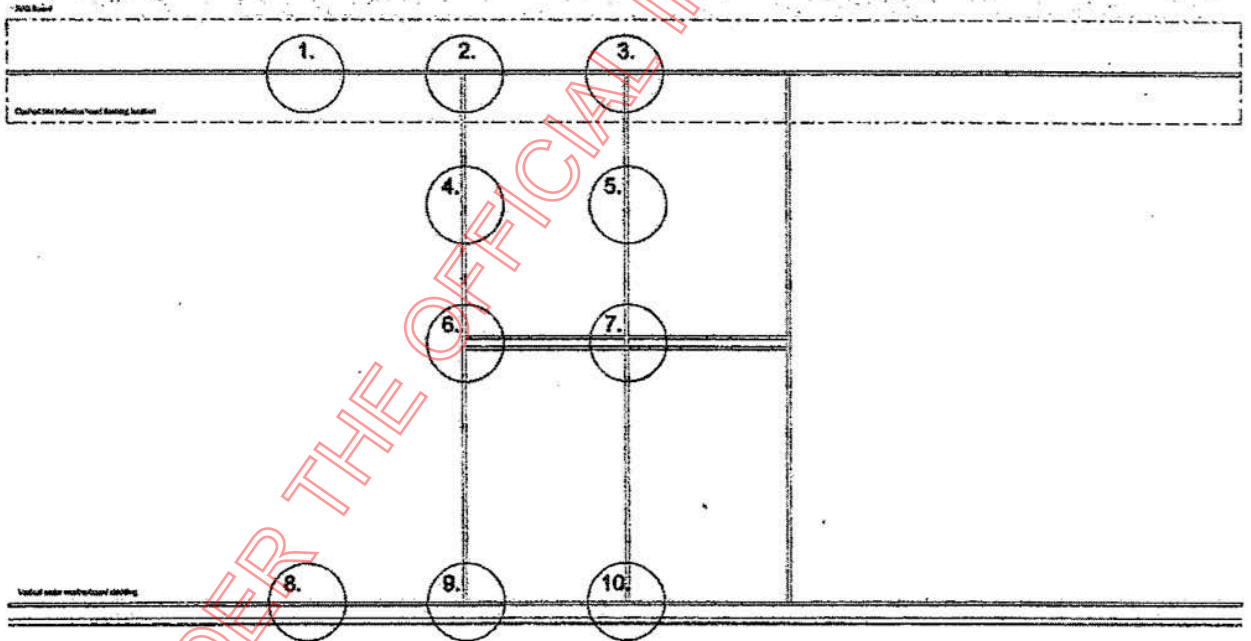
Testing Witnessed by:  
Name: s 9(2)(a)  
Signature: [Signature]  
Company: Viridian Glass  
Date: 29-3-17

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**A**

photo 3



1. Head flashing to cladding
2. Head flashing to window frame and structural glazing
3. Vertical mullion to window head junction
4. Vertical mullion to cladding
5. Vertical mullion between glazing panels
6. Horizontal transom to vertical mullion side junction
7. Horizontal transom to vertical mullion mid junction
8. Cladding to drainage sill
9. Vertical mullion to sill junction to cladding
10. Vertical mullion to glazing to drainage sill

## **B**

### **WINDOW ASSOCIATION OF NEW ZEALAND (WANZ)**

Quality Assurance and Diagnostic water Leakage Field check in accordance with **AAMA 501.2**

This was the test applied to this project And the procedure as set out in the **WANZ APPENDIX B attached** was conducted in accordance with this method.

**WATERTIGHT RESULTS** provides the equipment as specified by **WANZ** and the reporting is witnessed by other parties

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APPENDIX B 1

WINDOW ASSOCIATION OF NEW ZEALAND

QUALITY ASSURANCE AND DIAGNOSTIC WATER LEAKAGE  
FIELD CHECK OF INSTALLED FENESTRATION ELEMENTS IN  
ACCORDANCE WITH AAMA 501.2

GENERAL

The detailed test method outlined in this procedure is based on AAMA 501.2 - 03 "Quality Assurance and Diagnostic Water Leakage Field Check of Installed Storefronts, Curtain Walls and Sloped Glazing Systems", using an external controlled pressure water spray nozzle.

The purpose of the test procedure is to provide a quality assurance and diagnostic field water check method for installed fenestration elements including storefronts, curtain walls, and sloped glazing systems. This field test procedure is intended to evaluate those joints, gaskets and sealant details in the glazing which are designed to remain permanently closed and water tight. The procedure is not intended to test the rated or specified water performance representative of a wind driven rain event

This field test method is not appropriate for testing operable components such as operable windows and doors. The WANZ procedure based on AAMA 502-08 is the proper test method for field water penetration resistance testing of operable windows and doors.

PROCEDURE

Turn on water supply valve (and booster pump if required) and adjust water pressure to the required 205 to 240 kPa (30 to 35 psi) with the control valve.

The designated test area shall be divided into and evaluated in 1.5 m sections of the framing and joint. The nozzle shall be held at a distance of 305 mm (1 ft)  $\pm$  25 mm (1 in) from the location under test. Each 1.5 m section of test area shall be evaluated for a period of 5 minutes by slowly moving the nozzle back and forth over the test section (see Figure 4) while maintaining the nozzle perpendicular to the plane of the wall.

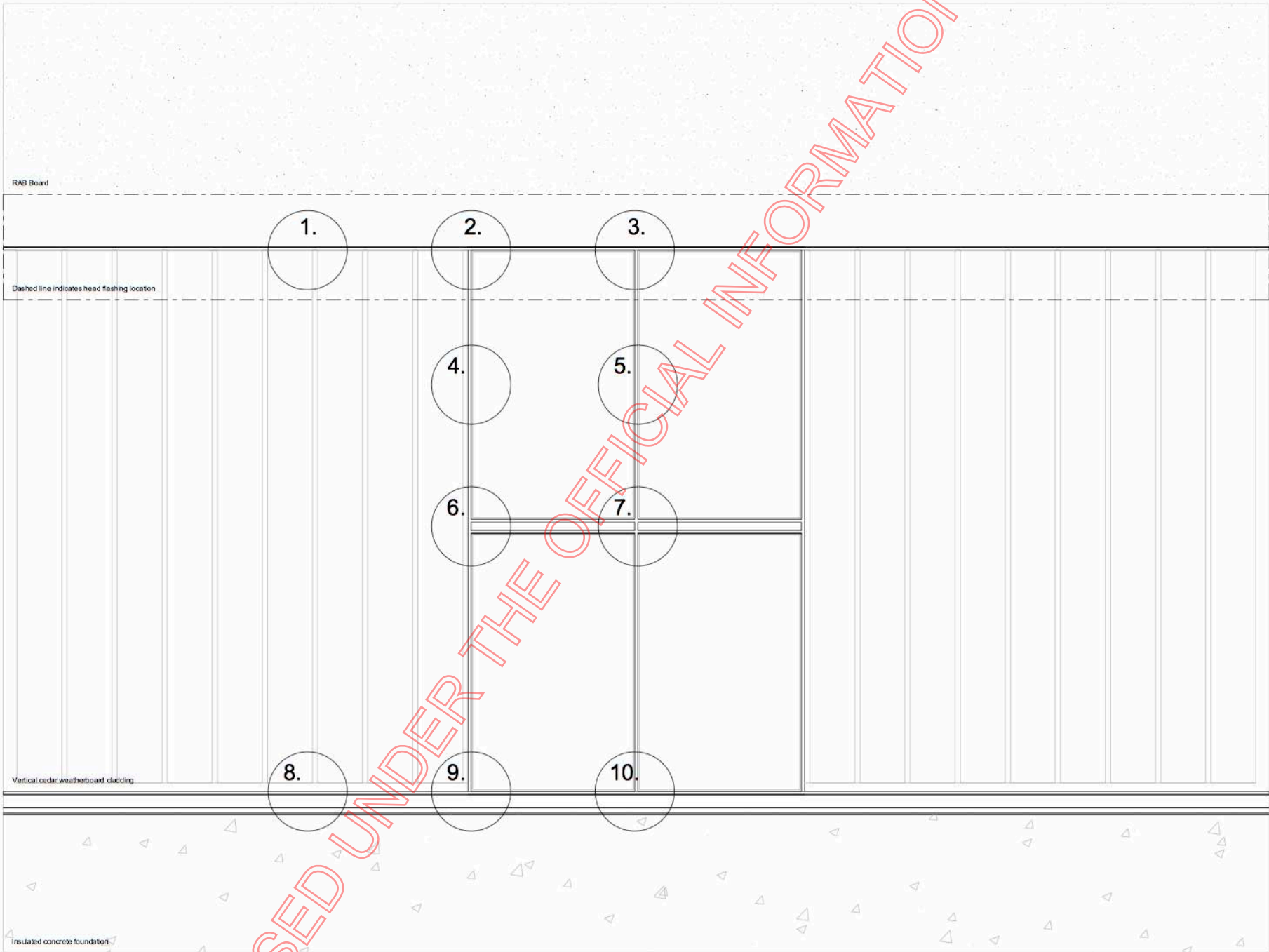
*NOTE: It is recommended that a gauge rod be attached to the end of the nozzle to ensure that the specified distance from the joint under test is maintained.*

Working from the exterior, the wall test section shall be selectively wetted progressing from the lowest horizontal framing member, then the adjacent framing intersections, then the adjacent vertical framing members, etc. During the test, an observer on the indoor side of the wall, using a flashlight if necessary, shall check for any water leakage and shall note where it occurs.

If no water leakage occurs during the five minute test, the next 1.5 m of framing shall be wetted for five minutes, and testing continued in this manner until the entire test area is tested.

For this water leakage field check, water leakage is defined as any uncontrolled water that appears on any normally exposed interior surfaces, that is not contained or drained back to the exterior, or that can cause damage to adjacent materials or finishes. Water contained within drained flashings, gutters, and sills is not considered water leakage. The collection of up to 15 ml (1/2 oz) of water in a five minute test period on top of an interior stop or stool integral with the system shall not be considered water leakage.

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**From:** Corban Walls s 9(2)(a)  
**Sent:** Wednesday, 23 August 2017 1:58 p.m.  
**To:** Determinations  
**Subject:** 6 Island Bay Road Determination (2of3)  
**Attachments:** House Drawings 1of2 .pdf

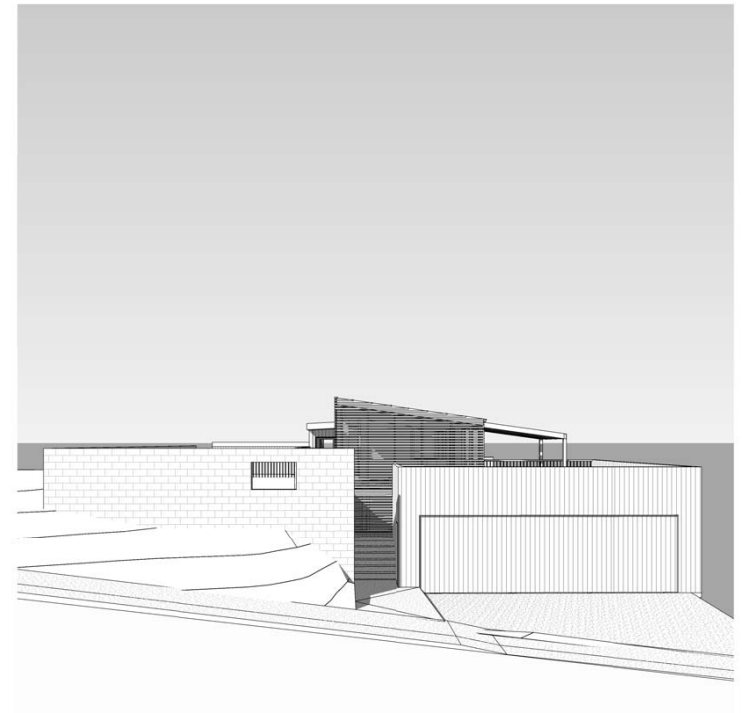
Sorry I had to split the last file as your inbox wouldn't accept it.

s 9(2)(a)

Corban Walls  
s 9(2)(a)

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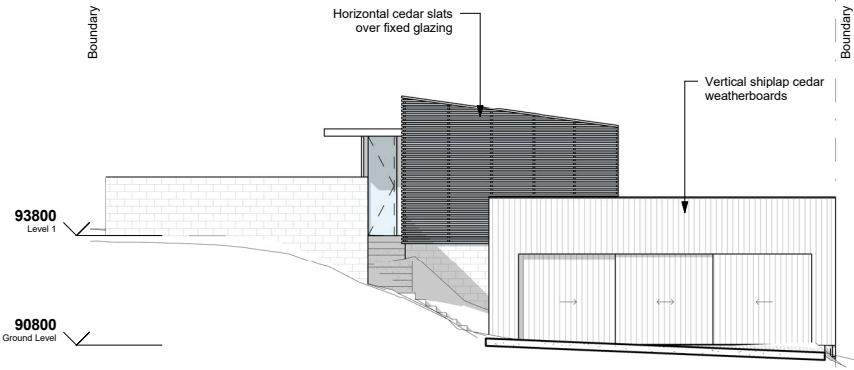
**ISLAND BAY ROAD HOUSE**  
6 Island Bay Road, Beach Haven



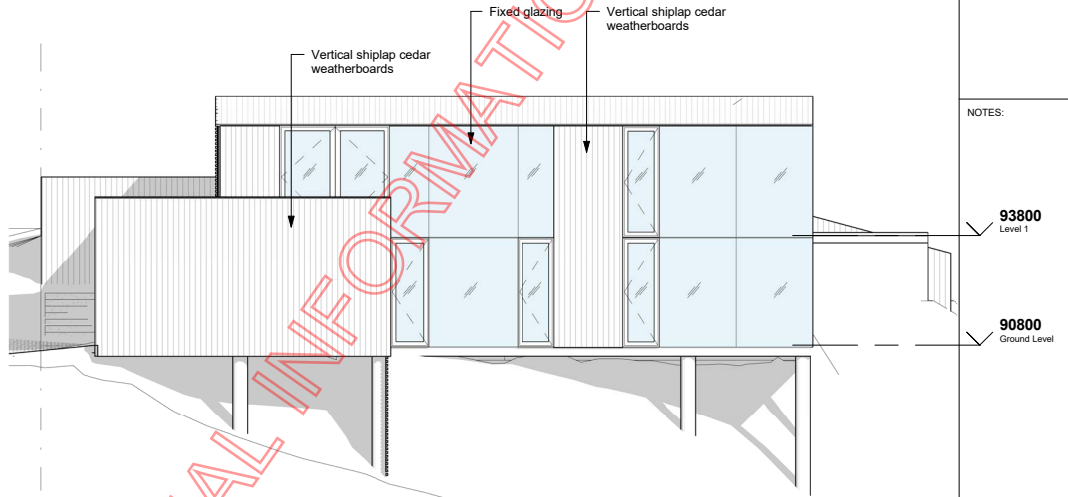


|   |
|---|
| LOCAL AUTHORITY<br>CONSULTANTS  |
| NOTES:  |
| REVISION HISTORY:   |
| PROJECT: No: 201004<br><b>ISLAND BAY ROAD HOUSE</b><br>Haven  |
| 6 Island Bay Road, Beach<br>Haven<br>SHEET:<br><b>3D Visualisation</b>  |
| SCALES @ A1:<br>REF:<br>DRAWN/START DATE: Author  |
| DRWG No: <b>A1-004</b> REVISION:  |
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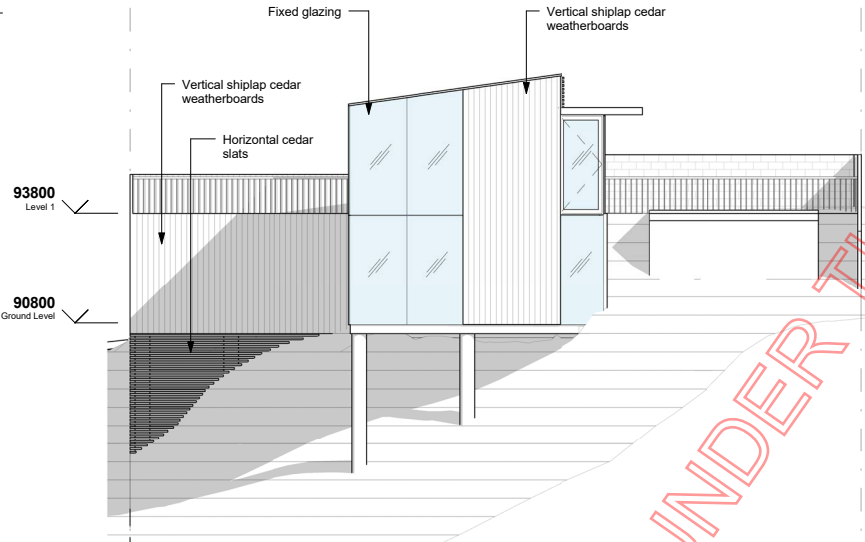




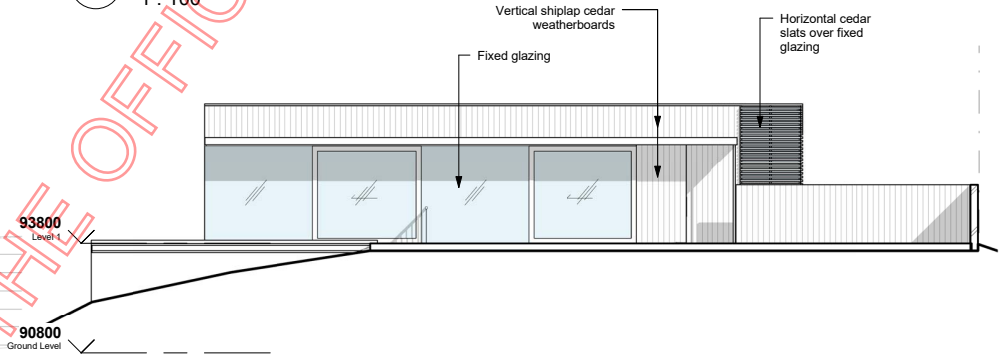
1 North West Elevation  
A1-011 1 : 100



2 South West Elevation  
A1-011 1 : 100



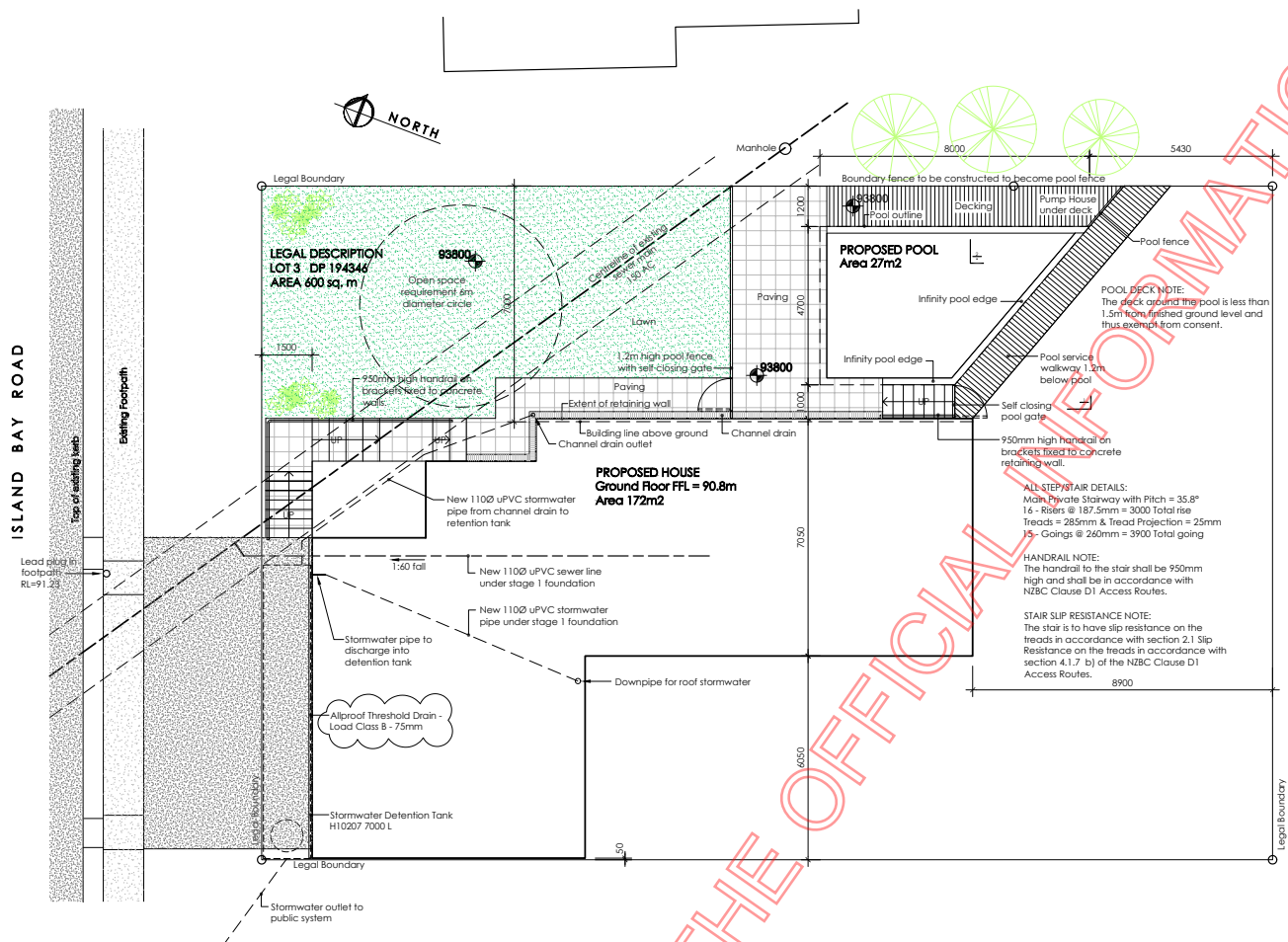
3 South East Elevation  
A1-011 1 : 100



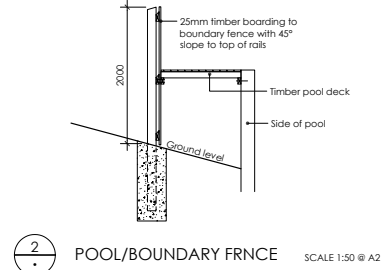
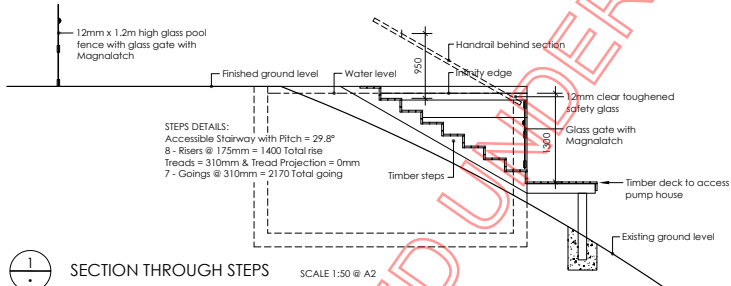
4 North East Elevation  
A1-011 1 : 100

Note:  
Supplier: Viridian Glass  
Glass Type: 8mm Viridian Performatech Toughened #2 / 14mm airspace / 10.38 laminate

|  |
|--|
| LOCAL AUTHORITY  |
| CONSULTANTS  |
| NOTES:   |
| 93800 Level 1  |
| 90800 Ground Level   |
| REVISION HISTORY:  |
| s 9(2)(a)  |
| PROJECT: No: 201504<br>ISLAND BAY ROAD HOUSE<br>6 Island Bay Road, Beach Haven   |
| SHEET: Elevations  |
| SCALES @ A2: 1 : 100<br>SCALES @ A4: Half A2 scale   |
| REF:<br>DRAWN/START DATE: Author   |
| DRWG No: A1-401 REVISION:  |
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SITE PLAN scale 1:100 @ A2



LOCAL AUTHORITY:  
AUCKLAND CITY COUNCIL

CONSULTANT:  
**S.9(2)**  
S.9(2) Engineering & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (09) 8200131  
cell 09 921219

NOTES:

REVISION HISTORY:

S.9(2)(a)

PROJECT: No: 201504  
**ISLAND BAY ROAD HOUSE**

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
**Site Plan & Floor Slab Plan**

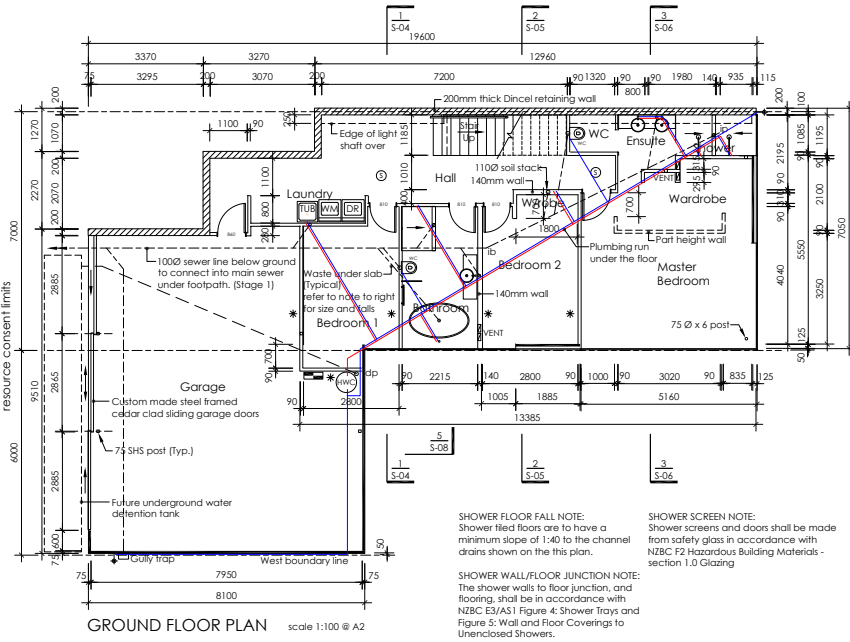
SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: Author

DRWG No: S-01 REVISION: B

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GROUND FLOOR PLAN scale 1:100 @ A2

- wall legend:**
- 200mm Dintel retaining wall
  - 90mm thick internal wall
  - 125mm thick exterior wall (75mm Xlam + 50mm insulation)
  - Windows to building exterior
  - Denotes wall that have 10mm + 13mm Gfb board lining both sides of wall
- floor slab legend:**
- Downpipe - size stated
  - Floor Waste Gully (FWG)
  - Terminal vent
  - inspection bend
  - inspection point
  - inspection joint
  - air admittance valve
  - outdoor hose tap
  - 300L hot water cylinder
  - Ceiling mounted smoke alarm
  - Electric SMART Meter Box
  - COLD water pipes
  - HOT water pipes
- PLUMBING NOTES:**  
Provide Backflow Prevention to all external Taps on the site. The backwash from the Pool Pump is required to discharge to Private Sewer via the pipe shown on this plan.

**SHOWER FLOOR FALL NOTE:**  
Shower tiled floors are to have a minimum slope of 1:40 to the channel drains shown on this plan.

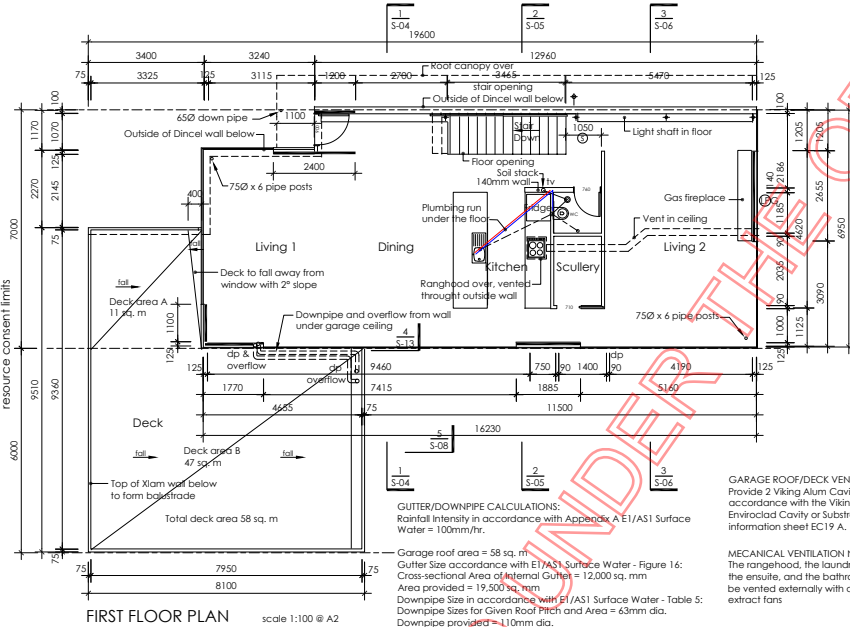
**SHOWER WALL/FLOOR JUNCTION NOTE:**  
The shower walls to floor junction, and flooring, shall be in accordance with NZBC E3/AS1 Figure 4; Shower Trays and Figure 5; Wall and Floor Coverings to Unenclosed Showers.

**SHOWER SCREEN NOTE:**  
The shower walls to floor junction, and flooring, shall be in accordance with NZBC F2 Hazardous Building Materials - section 1.0 Glazing

- wall legend:**
- 90mm thick internal wall
  - 125mm thick exterior wall (75mm Xlam + 50mm insulation)
  - 75mm thick Xlam wall
  - 75mm thick Xlam balustrade
  - Windows to building exterior
  - 9kg LPG gas cylinder location

**GENERAL CONSTRUCTION NOTES:**

- All work shall comply with the relevant clauses of the NZ building code, NZS 3604:2011 Timber Framed Buildings, NZS 3602:2003 Timber and Wood-based Products for use in Building, all other relevant NZ standards, all local authority regulations and other professionals producer statements.
- All work shall be carried out by Licensed Building Practitioners, in accordance with the best trade practices.
- All materials shall be new, the best of their respective kind, and shall be used in accordance with manufacturers details and specifications.
- Framing timbers shall be dry to 20% moisture content and finishing timbers dry to 12 - 15% moisture content.
- Structural timber shall be H1.2 treated SG 8 framing to the internal and H3.2 SG 8 where exposed to the weather. All studs/jack studs shall be at 600mm maximum crs, and all dwangs at 800mm maximum crs.
- Check all dimensions on site before beginning construction.
- These plans shall be read in conjunction with the plans and specifications prepared by all other professionals involved in the construction of this building.
- Only drawings that are APPROVED FOR CONSTRUCTION shall be used to construct the building.



FIRST FLOOR PLAN scale 1:100 @ A2

- STAIR DETAILS:**  
Main Private Stairway with Pitch = 35.8°  
16 - Risers @ 187.5mm = 3000 Total rise  
Treads = 285mm & Tread Projection = 25mm  
15 - Goings @ 260mm = 3900 Total going
- HANDRAIL NOTE:**  
The handrail to the stair shall be 950mm high and shall be in accordance with NZBC Clause D1 Access Routes.
- STAIR SLIP RESISTANCE NOTE:**  
The stair is to have slip resistance on the treads in accordance with section 2.1 Slip Resistance on the treads in accordance with section 4.1.7 (b) of the NZBC Clause D1 Access Routes.

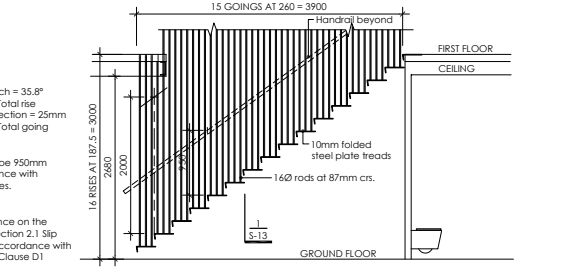
**GARAGE ROOF/DECK VENTILATION NOTE:**  
Provide 2 Viking Alum Cavity Vents in accordance with the Viking Roofspec EC19 Evacuated Cavity or Substrate Vents information sheet EC19 A.

**MECHANICAL VENTILATION NOTE:**  
The rangehood, the laundry cupboard, the ensuite, and the bathrooms shall all be vented externally with approved extract fans

**KITCHEN DESIGN NOTE:**  
Refer to the Architects drawings and the kitchen manufacturers drawings and specification for the full design and layout of the kitchen

**GUTTER/DOWNSPIPE CALCULATIONS:**  
Rainfall Intensity in accordance with Appendix A E1/AS1 Surface Water = 100mm/hr.  
Gutter Size in accordance with E1/AS1 Surface Water - Figure 16: Cross-sectional Area of External Gutters = 12,000 sq. mm  
Area provided = 19,500 sq. mm  
Downpipe Size in accordance with E1/AS1 Surface Water - Table 5: Downpipe Sizes for Given Roof Pitch and Area = 63mm dia.  
Downpipe provided = 110mm dia.  
Garage roof area = 58 sq. m  
Gutter Size in accordance with E1/AS1 Surface Water - Figure 16: Cross-sectional Area of External Gutters = 12,000 sq. mm  
Area provided = 19,500 sq. mm  
Downpipe Size in accordance with E1/AS1 Surface Water - Table 5: Downpipe Sizes for Given Roof Pitch and Area = 63mm dia.  
Downpipe provided = 110mm dia.

Deck area A = 11 sq. m - thus with a rainfall of 100mm per hr, 1100 litres would fall on this area in 1 hour.



STAIR SETOUT scale 1:50 @ A2

**general note:**  
Before commencing any work on site, the main contractor and all subcontractors shall read and fully understand the drawings and sections of the drawings and specifications. This includes reading all notes:  
Do not scale dimensions off the drawings. If in doubt about any dimension ask the designer.  
A copy of all product manuals noted on the drawings, or called up in the specifications shall be on site at all times during the construction of the building.  
Only drawings marked "FOR CONSTRUCTION" shall be used for construction of the building.

**waste pipe notes:**  
Wastes running under the floor slab are 110mm Ø and have already been laid in stage 1. All pipework above the floor shall be on the following sizes and be laid to the following minimum gradients:  
Soil stack 110mm Ø at 1:60  
Waste from FWG 110mm Ø at 1:60  
WC 110mm Ø at 1:50  
Bath 40mm Ø at 1:40  
Shower 40mm Ø at 1:40  
Vanity 40mm Ø at 1:40  
Laundry tub 40mm Ø at 1:40  
Kitchen sink 40mm Ø at 1:40

**storm water drainage notes:**  
All drainage shown on this plan is part of the stage 1 consent, has already been constructed and is in accordance with NZBC E1 "Surface Water" and NZBC G13 "Foul Water" and to the sizes as shown on the plan with 1:120 minimum fall.

**waste pipe notes:**  
Wastes running under the house and under the first floor to the soil stack, shall be of the following sizes, and be laid to the following minimum gradients:  
WC - 100mm Ø at 1:50  
Shower - 40mm Ø at 1:40  
Bath - 40mm Ø at 1:40  
Vanity - 40mm Ø at 1:40  
Laundry tub - 40mm Ø at 1:40  
Kitchen sink - 40mm Ø at 1:40

**insulation notes:**  
The house is insulated as follows:  
**SLAB** - XPS 50mm R Value = 1.85 / EPS 200mm R Value = 5.56  
TOTAL UNDERSLAB R VALUE = 7.41  
**RETAINING WALL** - XPS 50mm R Value = 1.85 / EPS 200mm R Value = 5.56  
TOTAL RETAINING WALL R VALUE = 7.41  
**WALLS** - Xlam 90mm Panel R Value = 0.75 / PIR 50mm insulation / R Value = 2.65  
TOTAL WALL R VALUE = 3.40  
**GLAZING** - double glazed 18mm Argon filled, Low E, Laminated  
TOTAL GLAZING R Value = 1.10  
**CEILING** - Ceiling Insulation PIR R Value 3.89 / Double Earth Wool Skion Batts R Value 6.4  
TOTAL CEILING R VALUE = 10.29

**coach screw fixing note:**  
All M12 coach screws which fix into Xlam panels shall have a 8mm pre drilled pilot hole in the panel. All M10 coach screws which fix into Xlam panels shall have a 7mm pre drilled pilot hole in the panel.  
For the following bolt and coach screw diameters use washer sizes as below unless noted otherwise on the drawings:  
up to M8 - 25 x 25 x 1.5mm or 30Ø x 1.5mm  
up to M12 - 50 x 50 x 3mm or 60Ø x 3mm  
up to M20 - 65 x 65 x 5mm or 75Ø x 5mm  
up to M20 - 75 x 75 x 6mm or 85Ø x 6mm

**smoke alarm note:**  
Smoke alarms shall be battery operated, shall have a hush button and a test button, be installed in accordance with the manufacturers specifications and comply with at least one of: UL 217, CAN/ULC 5531, AS 3786 or BS 5446: Part 1.

**exposed fixings note:**  
All exposed structural fixings shall be 316 stainless steel

LOCAL AUTHORITY:  
**AUCKLAND CITY COUNCIL**

CONSULTANT:  
**s 9(2)(a)**  
Siddons Corporation & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (09) 8200131  
cell

NOTES:

REVISION HISTORY:

**s 9(2)(a)**

PROJECT: No: 201504  
**ISLAND BAY ROAD HOUSE**

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
**Dimensioned Floor Plans**

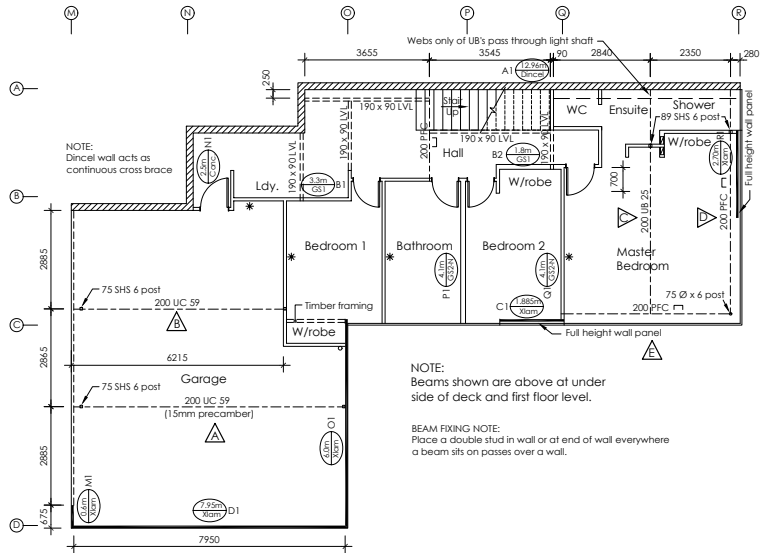
SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: **Author** REVISION:  
S-02 **C**

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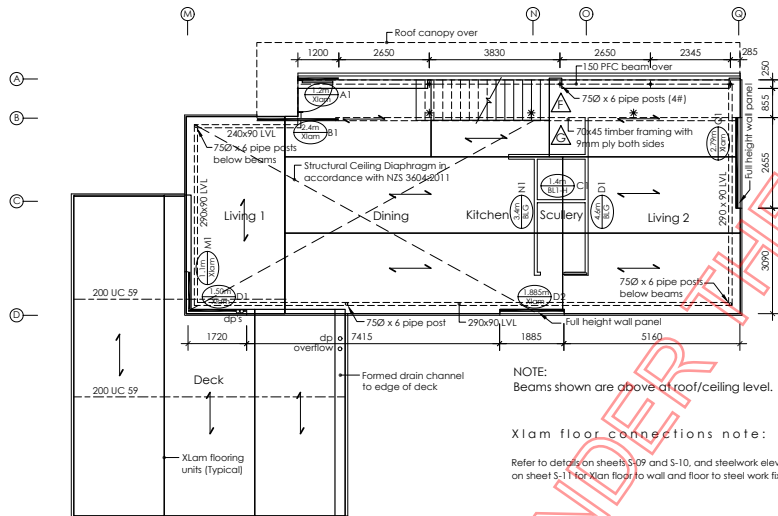
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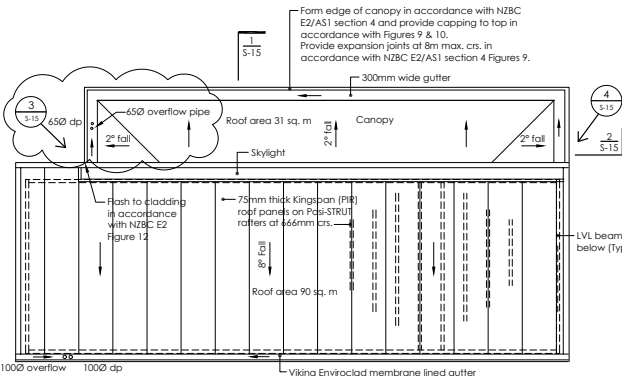
GROUND FLOOR BEAM & COLUMN LAYOUT PLAN INCLUDING BRACING scale 1:100 @ A2

- wall legend:
- 200mm Dintel retaining wall
  - 125mm thick exterior wall (75mm Xlam + 50mm insulation)
  - 90mm thick internal wall with 90x45 studs at 600mm crs.
  - 140mm thick internal wall with 140x45 studs at 600mm crs.
  - 90mm thick internal wall with 90x90 studs at 400mm crs.
- symbol legend:
- \* Special framing requirements for loadbearing wall - refer above
  - dp 110mm Ø PVC downpipe
  - Steel beam over to size stated
  - === Timber beam over to size stated
  - ↑ Span direction of Xlam floor units
  - ▲ Steelwork elevation - located on S11
  - Bracing wall - length and type
  - Bracing line



FIRST FLOOR XLAM SETOUT PLAN INCLUDING BRACING scale 1:100 @ A2

- wall legend:
- 90mm thick internal
  - 125mm thick exterior wall (75mm Xlam + 50mm insulation)
  - 75mm thick Xlam wall
  - 75mm thick Xlam balustrade
  - Windows to building exterior
  - \* Denotes roof support plate above



ROOF PLAN scale 1:100 @ A2

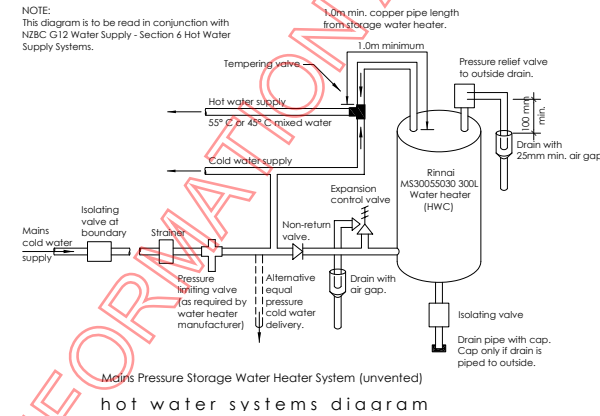
GUTTER/DOWNSPIPE CALCULATIONS:  
Rainfall intensity in accordance with Appendix A E1/AS1 Surface Water = 100mm/hr.

House roof area = 90 sq. m  
Gutter Size in accordance with E1/AS1 Surface Water - Figure 15:  
Cross-sectional Area of External Gutter = 10,500 sq. mm  
Minimum area provided = 12,000 sq. mm  
Downpipe Size in accordance with E1/AS1 Surface Water - Table 5:  
Downpipe Sizes for Given Roof Pitch and Area = 100mm dia.  
Downpipe provided = 110mm dia.

Canopy roof area = 31 sq. m  
Gutter Size in accordance with E1/AS1 Surface Water - Figure 15:  
Cross-sectional Area of External Gutter = 4000 sq. mm (the minimum allowed)  
Area provided at lowest point = 49,500 sq. mm  
Downpipe Size in accordance with E1/AS1 Surface Water - Table 5:  
Downpipe Sizes for Given Roof Pitch and Area = 63mm dia.  
Downpipe provided = 65mm dia.

POSI-STRUT RAFTER SPACINGS:  
The Posi-STRUT rafters are spaced at 666mm crs. to coincide with the ridges of the roofing.

FLUE ROOF PENETRATION NOTE:  
A Deckfite Soaker in accordance with NZBC Figure S3: Flashing for small pipes, is to be fitted where the gas fire flue penetrates the roofing.



Mains Pressure Storage Water Heater System (unvented) hot water systems diagram

LOCAL AUTHORITY:  
AUCKLAND CITY COUNCIL

CONSULTANT:  
S 9(2)V  
Brazor Construction & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (09) 8200131  
cell

NOTES:

REVISION HISTORY:

s 9(2)(a)

PROJECT: No: 201504  
ISLAND BAY ROAD HOUSE

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:

Structural Floor Plans

SCALES @ A2:  
SCALES @ A4: Half A2 scale

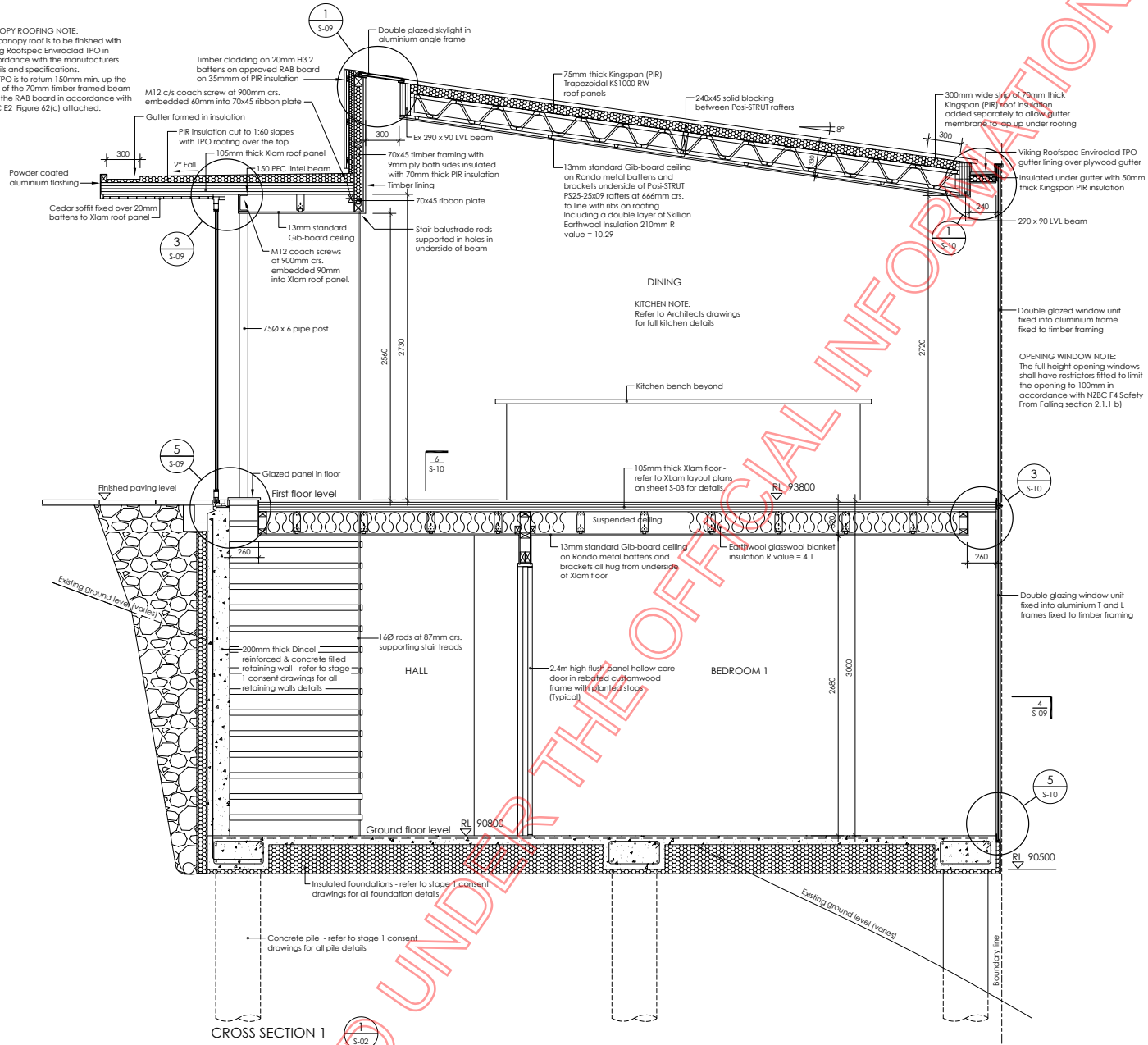
REF:  
DRAWN/START DATE: Author

DRWG No: REVISION:  
S-03 D

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**CANOPY ROOFING NOTE:**  
The canopy roof is to be finished with Viking Roofspec Enviroclad TPO in accordance with the manufacturer's details and specifications. The TPO is to return 150mm min. up the face of the 70mm timber framed beam over the RAB board in accordance with NZBC E2 Figure 62(c) attached.



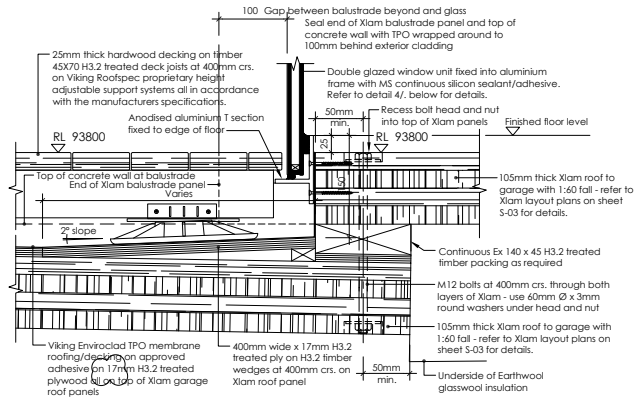
CROSS SECTION 1

|   |
|---|
| LOCAL AUTHORITY:<br><b>AUCKLAND CITY COUNCIL</b>  |
| CONSULTANT:<br><b>S 9(2)</b><br>S 9(2) Corporation & Partners Ltd<br>PO Box 71 065 Rosebank Road<br>ph (08) 820(1)131<br>cell |
| NOTES:  |
| REVISION HISTORY:   |
| <b>S 9(2)(a)</b>  |
| PROJECT: No: 201504<br><b>ISLAND BAY ROAD HOUSE</b><br>6 Island Bay Road<br>Beach Haven<br>AUCKLAND                           |
| SHEET:<br><b>House Cross Section 1</b>  |
| SCALES @ A2:<br>SCALES @ A4: Half A2 scale  |
| REF:<br>DRAWN/START DATE: <b>Author</b>   |
| DRWG No:<br><b>S-04</b>   |
| REVISION:<br><b>A</b>   |
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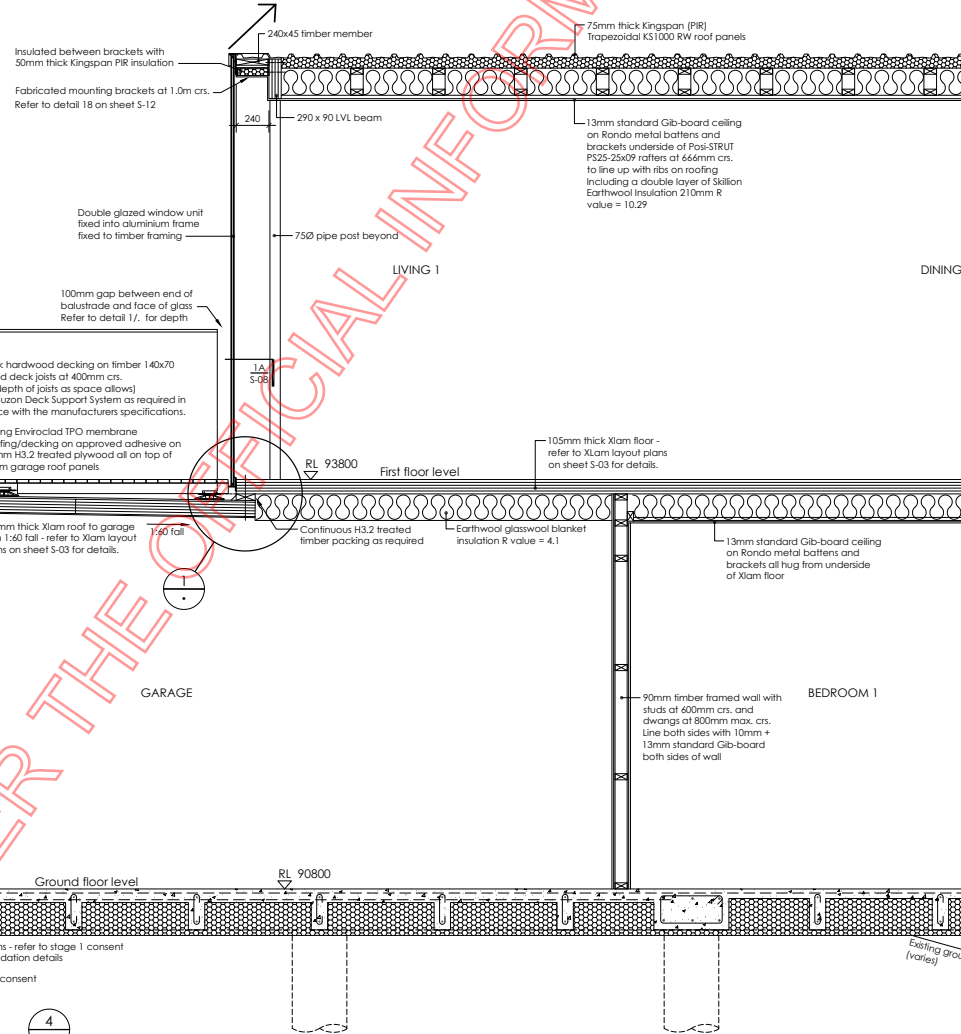
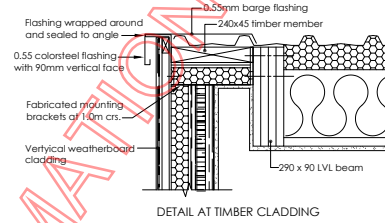
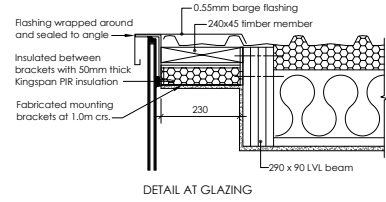








1 GARAGE ROOF TO FIRST FLOOR JUNCTION



CROSS SECTION

4 S-02

LOCAL AUTHORITY:  
AUCKLAND CITY COUNCIL

CONSULTANT:

s 9(2)  
S. J. O'Connell & Partners Ltd  
PO Box 71 065 Rosebank Road  
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NOTES:

REVISION HISTORY:

s 9(2)(a)

PROJECT: No: 201504  
ISLAND BAY ROAD HOUSE

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
Garage/House Cross Section

SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: Author

DRWG No: S-07 REVISION: B

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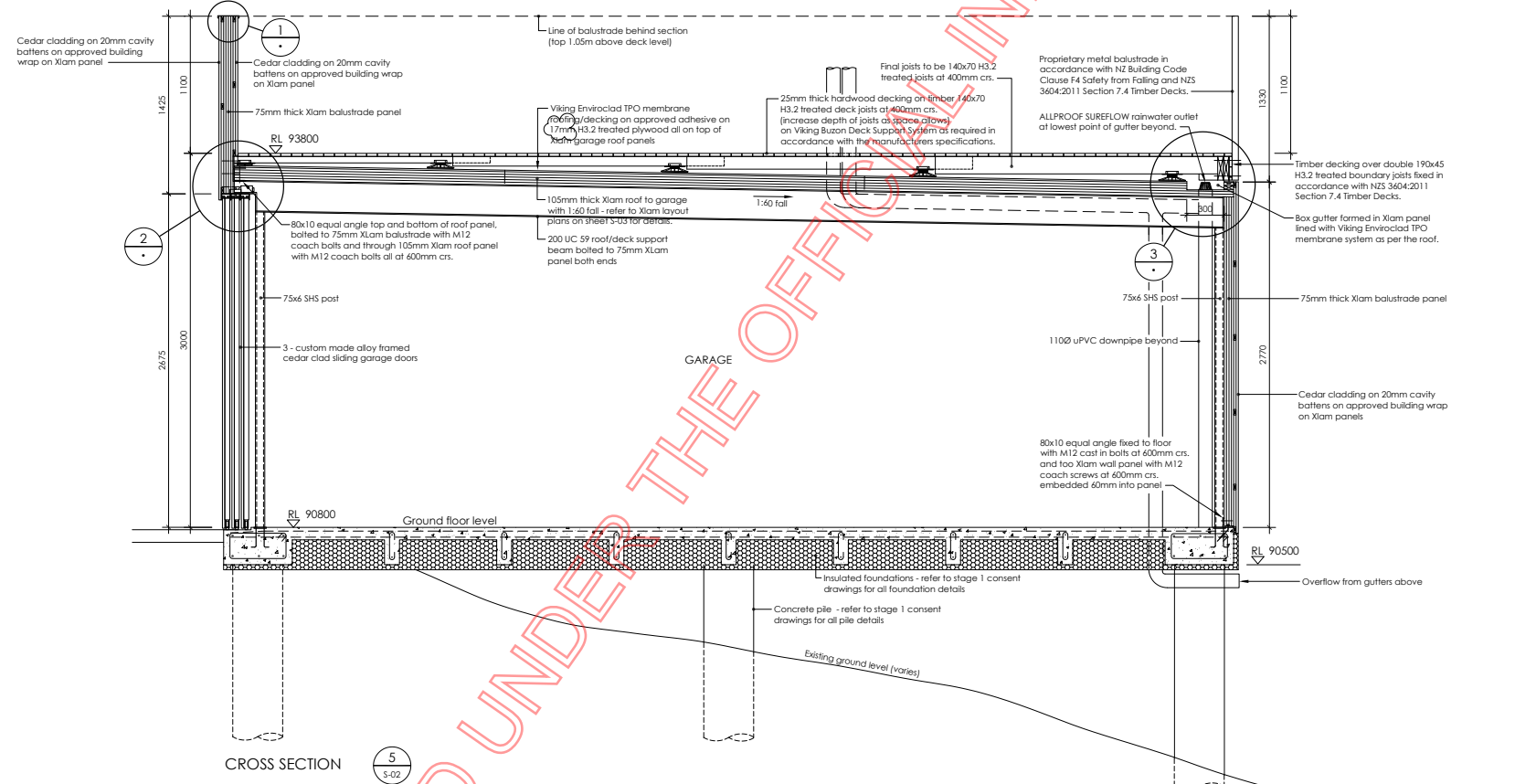
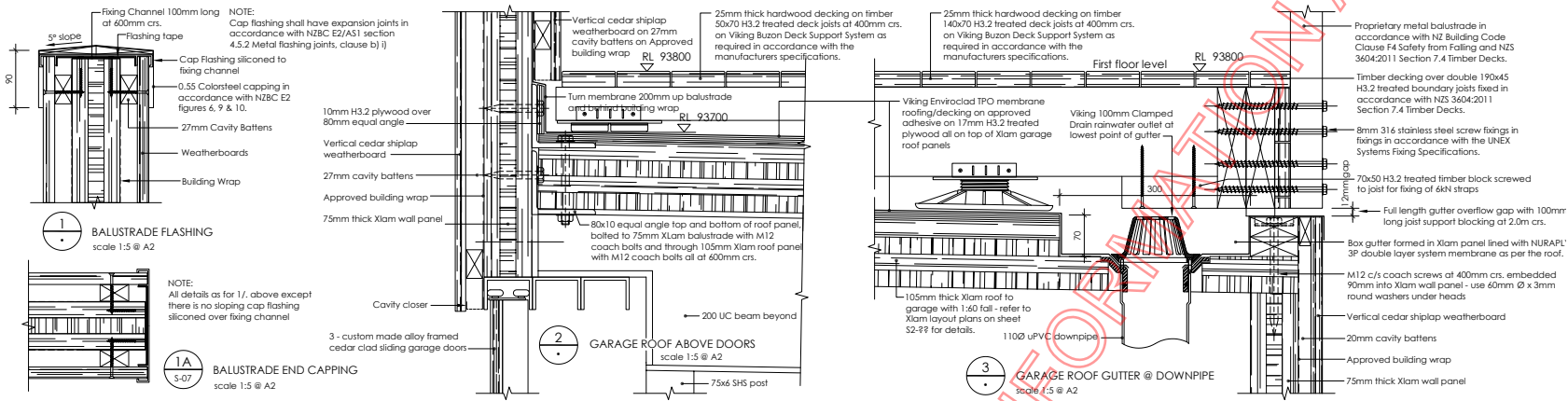
**From:** Corban Walls s 9(2)(a)  
**Sent:** Wednesday, 23 August 2017 2:00 p.m.  
**To:** Determinations  
**Subject:** 6 Island Bay Road Determination (3of3)  
**Attachments:** House Drawings 2of2 .pdf

s 9(2)(a)

Corban Walls  
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CONSULTANT:  
**S.9(2)(a)**  
S.9(2)(a) Corporation & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (09) 8201131  
cell

NOTES:

REVISION HISTORY:

PROJECT: No: 201504  
**ISLAND BAY ROAD HOUSE**  
6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
**Garage Cross Section**

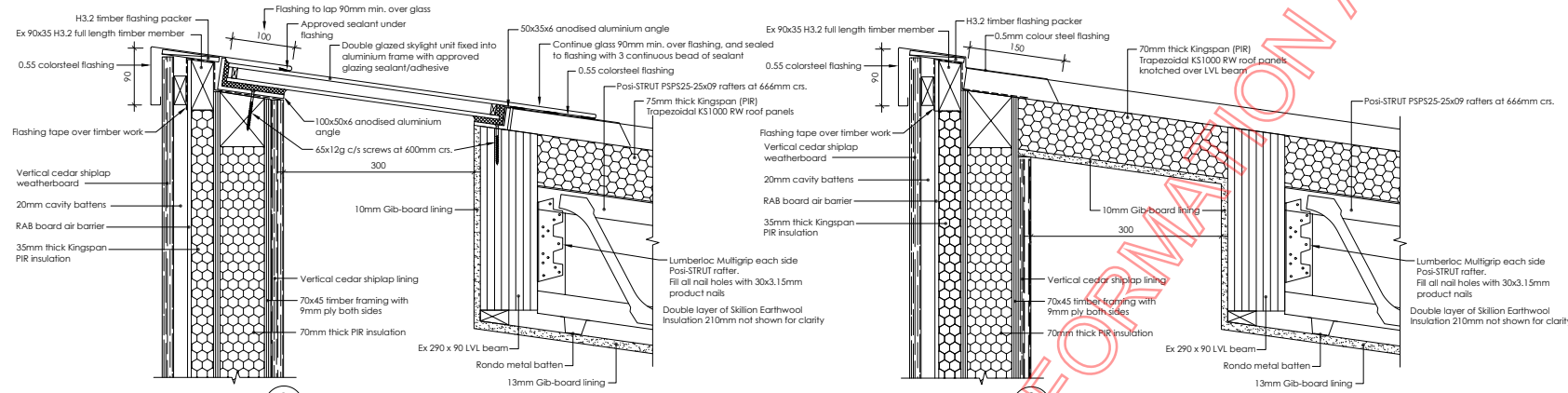
SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: **Author**

DRWG No: **S-08** REVISION: **A**

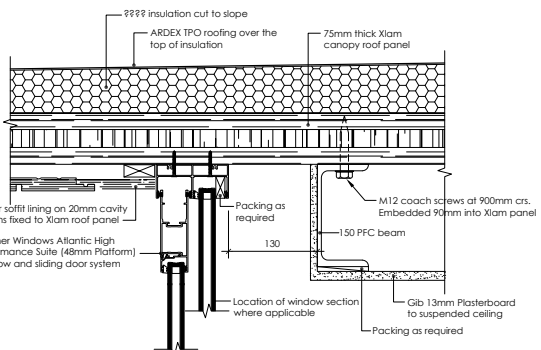
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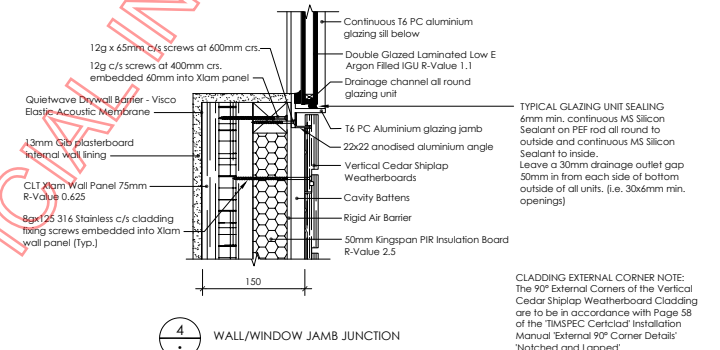


1 S-04 RIDGE SKYLIGHT DETAIL

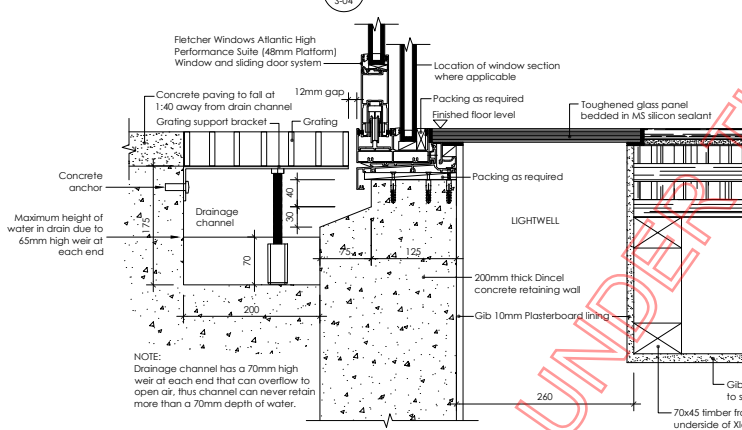
2 S-04 RIDGE TO ROOFING DETAIL



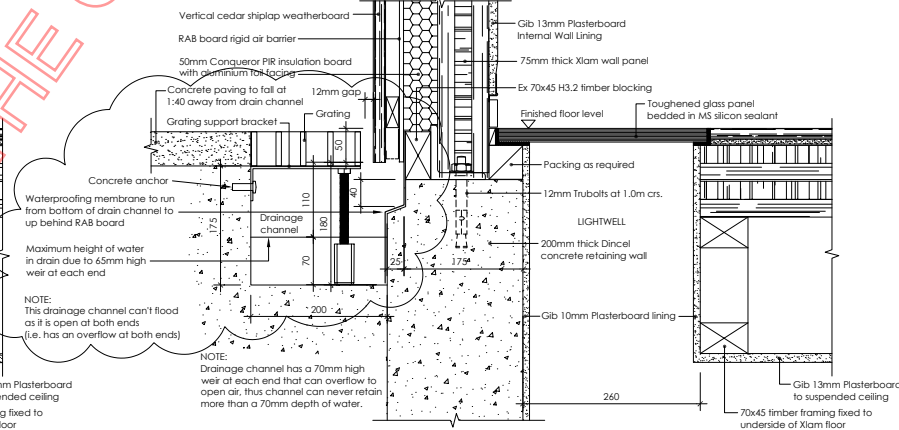
3 S-04 TOP OF DOOR/WINDOW TO POOL



4 S-04 WALL/WINDOW JAMB JUNCTION



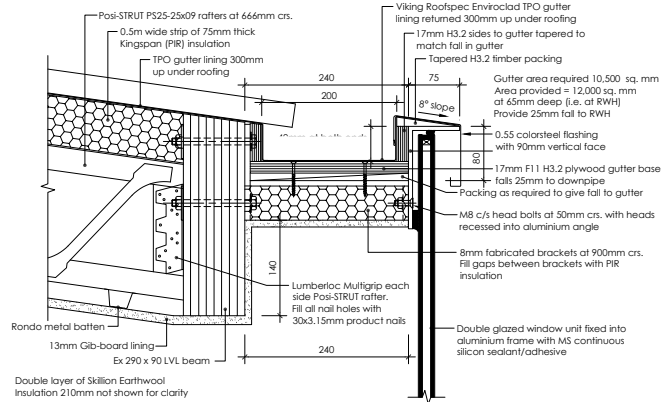
5 S-04 BOTTOM OF DOOR/WINDOW TO POOL



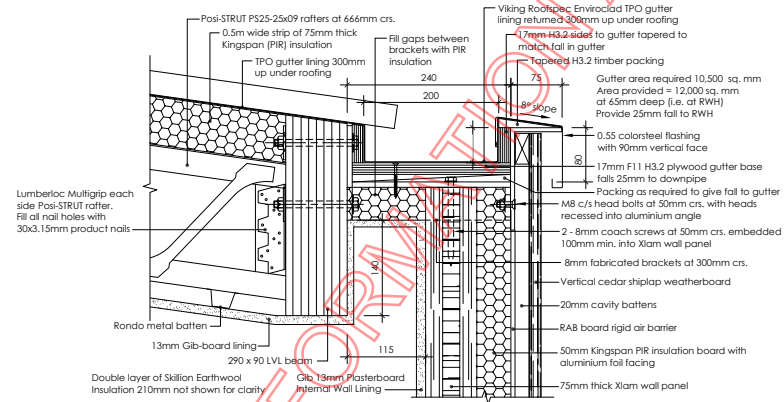
5 S-04 BOTTOM OF WALL TO PAVING

CONSTRUCTION DETAILS Scale 1:5 @ A2

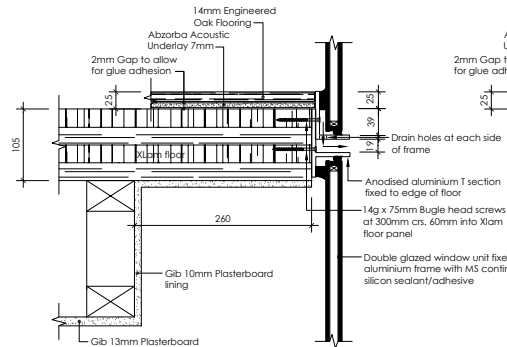
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| CONSULTANT:<br><b>S 9(2)</b><br>S 9(2) Corporation & Partners Ltd<br>PO Box 71 065 Rosebank Road<br>ph (08) 8201131<br>cell |               |
| NOTES:  |               |
| REVISION HISTORY:   |               |
| <b>s 9(2)(a)</b>  |               |
| PROJECT:  | No: 201504    |
| <b>ISLAND BAY ROAD HOUSE</b>  |               |
| 6 Island Bay Road<br>Beach Haven<br>AUCKLAND  |               |
| SHEET:  |               |
| <b>DETAILS</b>  |               |
| SCALES @ A2:  | Half A2 scale |
| REF:  | Author        |
| DRAWN/START DATE:   | REVISION:     |
| <b>S-09</b>   | <b>C</b>      |
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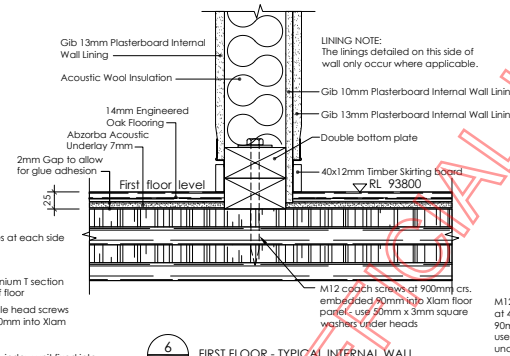
1 S-04 EAVE/GUTTER DETAIL @ WINDOW



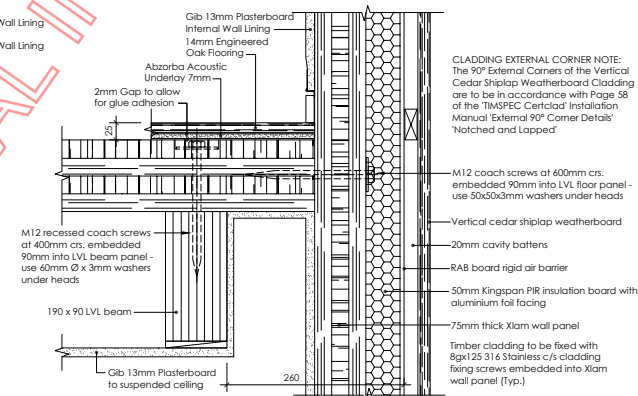
2 S-05 EAVE/GUTTER DETAIL @ CLADDING



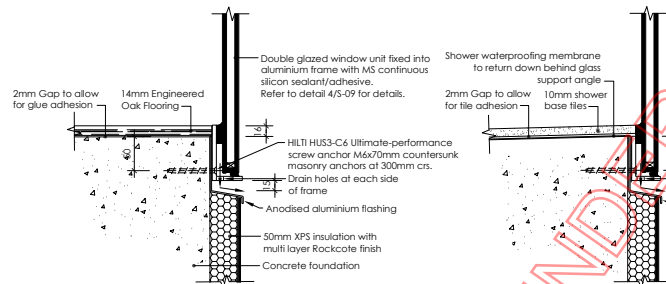
3 S-04 FIRST FLOOR WINDOW ABOVE AND BELOW



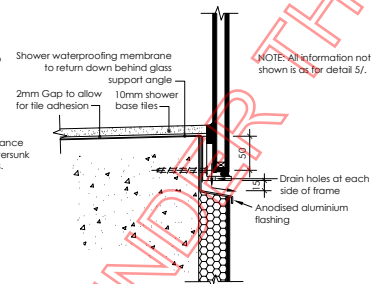
6 S-04 FIRST FLOOR - TYPICAL INTERNAL WALL  
Similar for ground floor slab



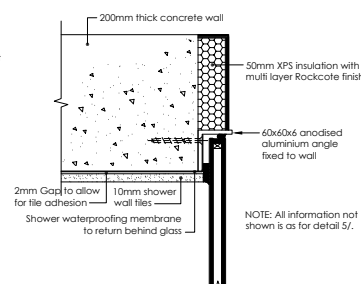
4 S-05 FIRST FLOOR WALL ABOVE AND BELOW



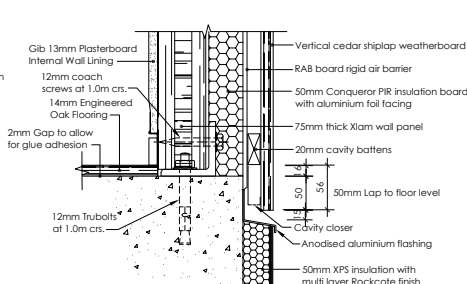
5 S-04 GROUND FLOOR @ WINDOW



5a S-04 GROUND FLOOR @ SHOWER WINDOW



5b S-04 WINDOW TO CONCRETE WALL - SECTION



6 S-05 GROUND FLOOR @ WALL

CONSTRUCTION DETAILS Scale 1:5 @ A2

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CONSULTANT:  
S 9(2)(a)  
S 9(2)(a) Engineering & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (08) 8201131  
cell

NOTES:

REVISION HISTORY:

s 9(2)(a)

PROJECT: No: 201504  
ISLAND BAY ROAD HOUSE

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEETS  
DETAILS

SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: Author

DRWG No: S-10 REVISION: C

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S 9(2)(a) Engineering & Partners Ltd  
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NOTES:

REVISION HISTORY:

PROJECT: No: 201504  
ISLAND BAY ROAD HOUSE

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
STEELWORK ELEVATIONS

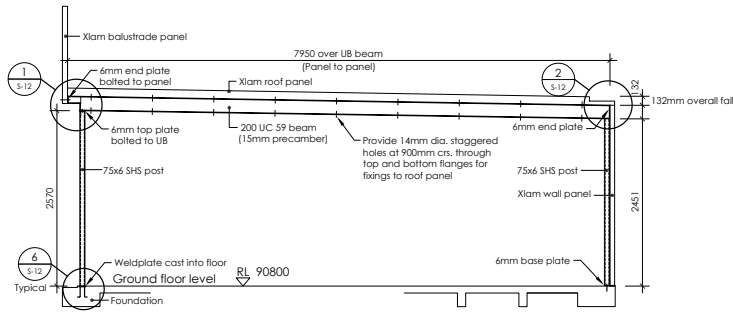
SCALES @ A2:  
SCALES @ A4: Half A2 scale

REF:  
DRAWN/START DATE: Author

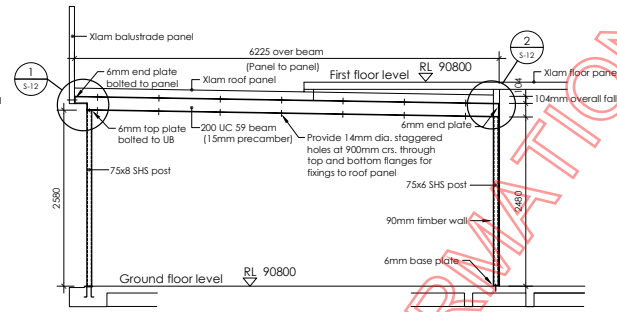
DRWG No: S-11 REVISION:

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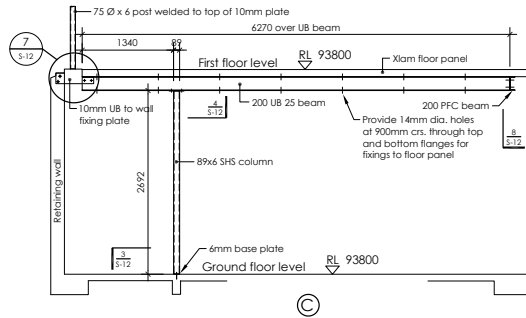
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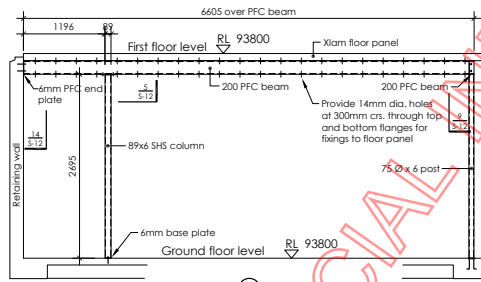
LONG GARAGE BEAM ELEVATION - (A) Scale 1:50 @ A2



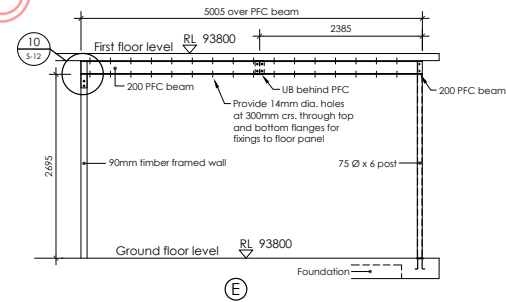
SHORT GARAGE BEAM ELEVATION - (B) Scale 1:50 @ A2



(C)

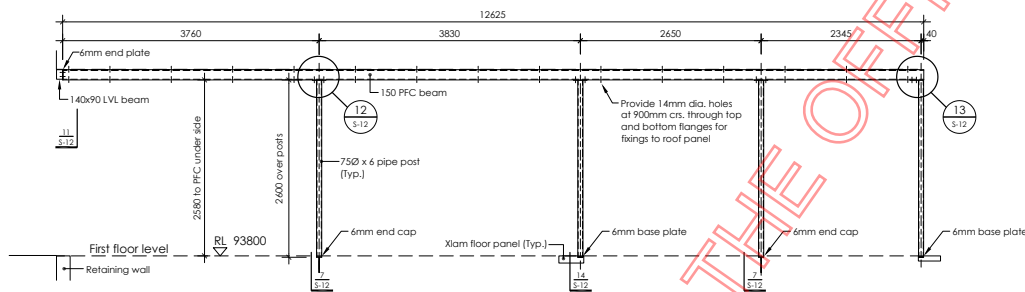


(D)

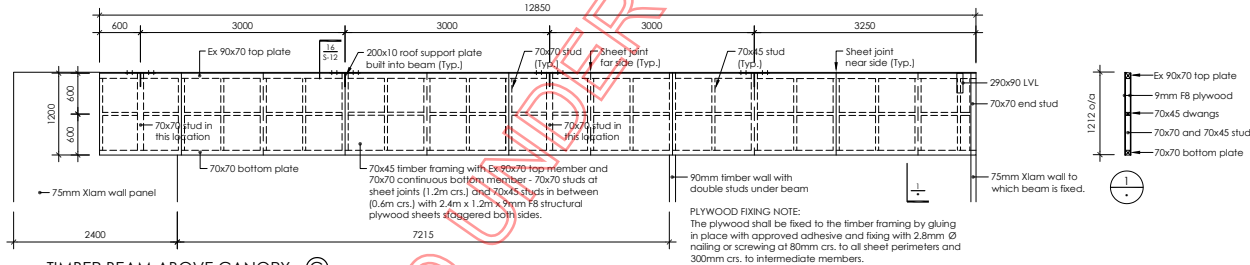


(E)

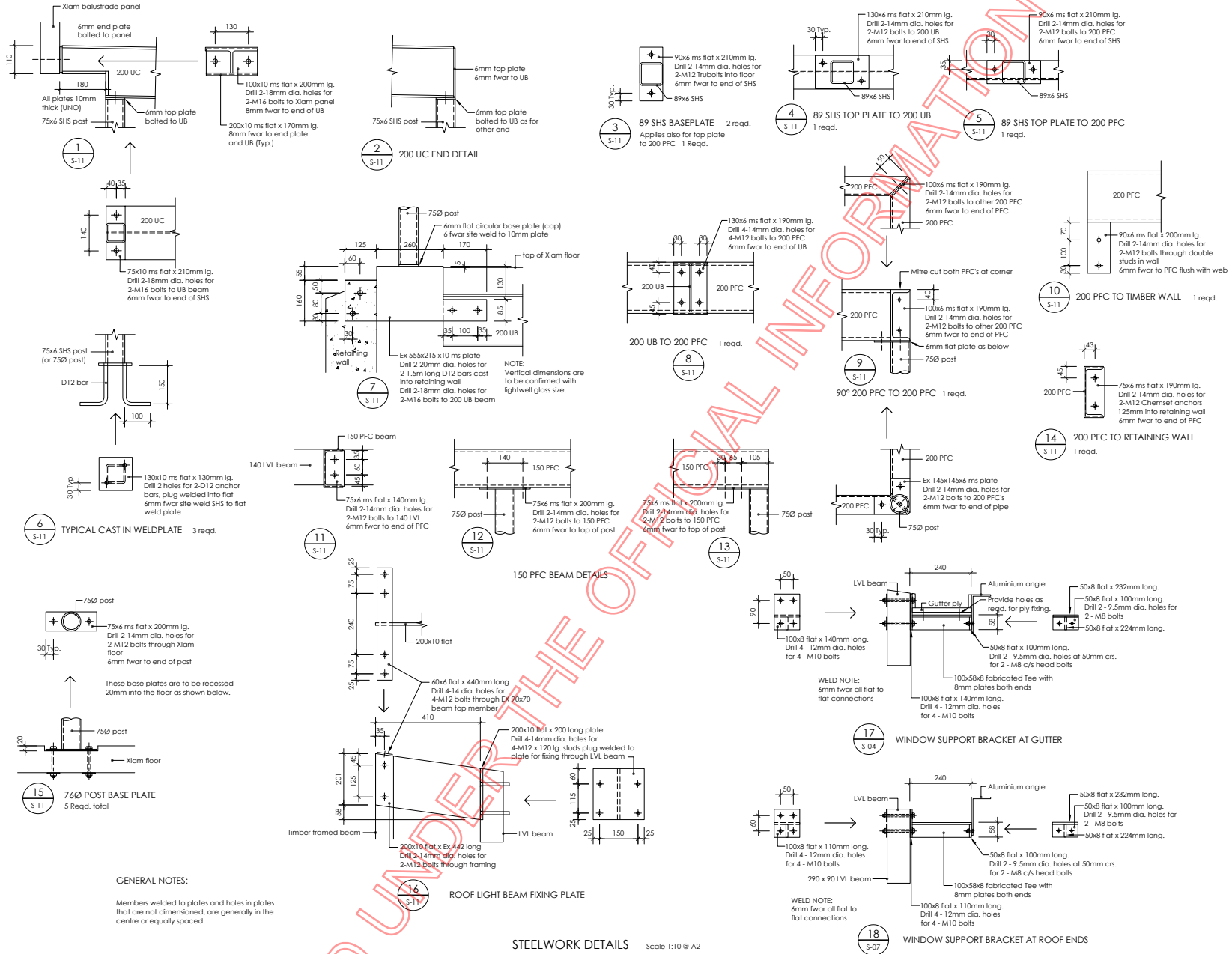
3 BEAMS & POSTS OVER MASTER BEDROOM Scale 1:50 @ A2



BEAM AND POSTS ABOVE RETAINING WALL - (F) Scale 1:50 @ A2



TIMBER BEAM ABOVE CANOPY - (G) Scale 1:50 @ A2



**GENERAL NOTES:**  
Members welded to plates and holes in plates that are not dimensioned, are generally in the centre or equally spaced.

STEELWORK DETAILS Scale 1:10 @ A2

LOCAL AUTHORITY:  
**AUCKLAND CITY COUNCIL**

CONSULTANT:  
**s 9(2)(a)**  
S. J. Morrison & Partners Ltd  
PO Box 71 065 Rosebank Road  
ph (09) 8200131  
cell

NOTES:

REVISION HISTORY:

**s 9(2)(a)**

PROJECT: No: 201504  
**ISLAND BAY ROAD HOUSE**

6 Island Bay Road  
Beach Haven  
AUCKLAND

SHEET:  
**STEELWORK DETAILS**

SCALES @ A2:  
SCALES @ A4: Half A2 scale

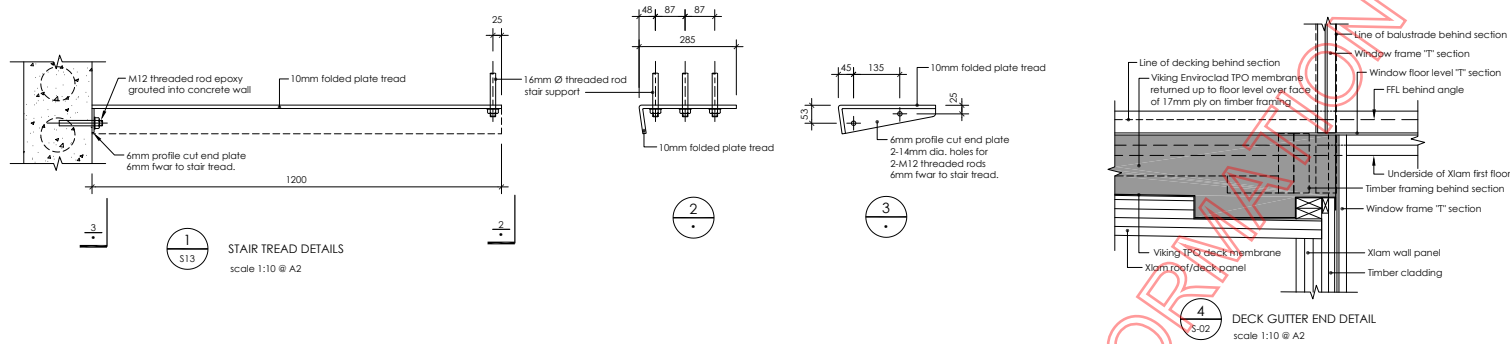
REF:

DRAWN/START DATE: **Author**

DRWG No: **S-12** REVISION: **A**

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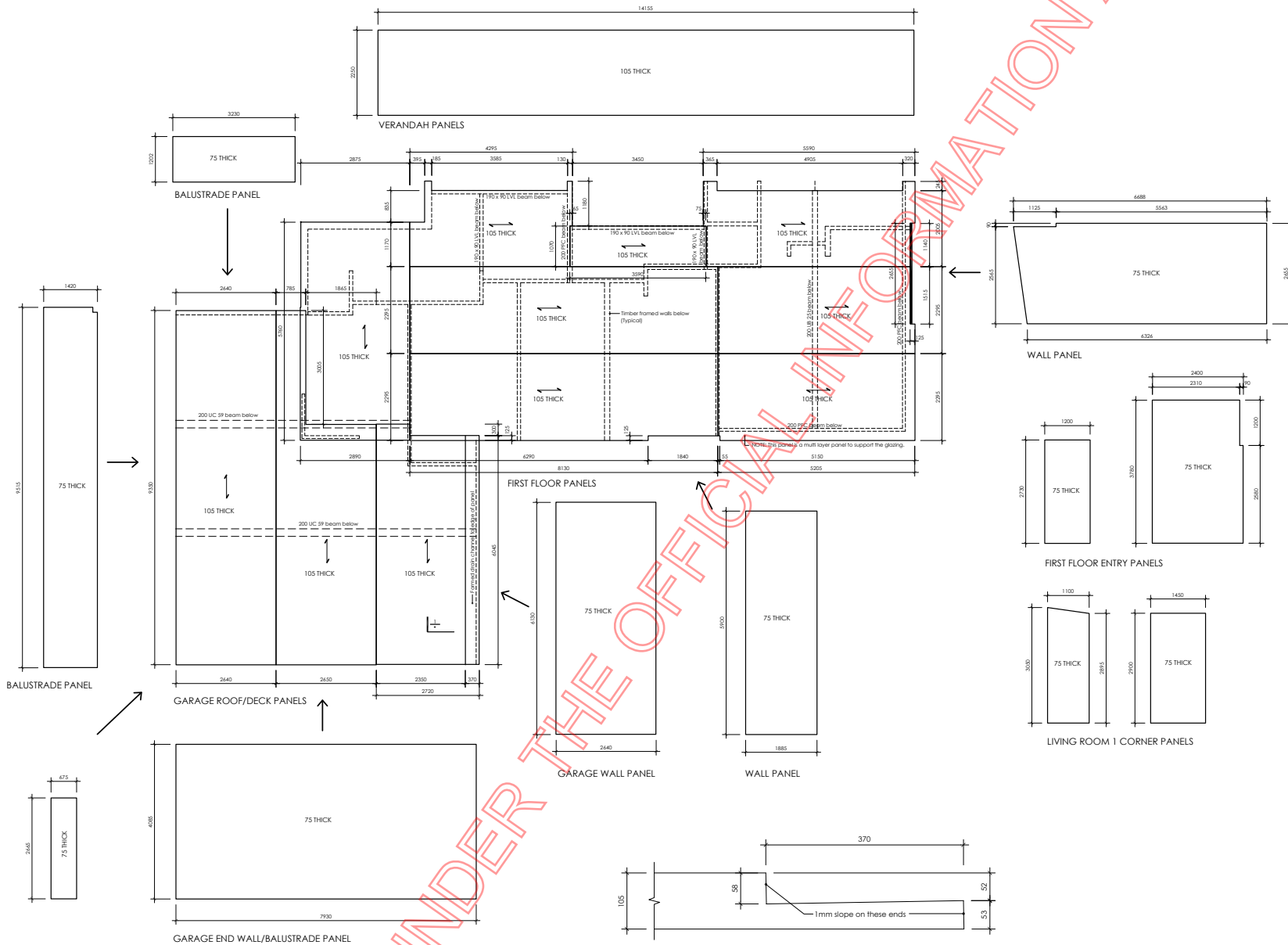
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| NOTES:  |                       |
| REVISION HISTORY:   |                       |
| <b>s 9(2)(a)</b>  |                       |
| PROJECT:  | No: 201504            |
| <b>ISLAND BAY ROAD HOUSE</b>  |                       |
| 6 Island Bay Road<br>Beach Haven<br>AUCKLAND  |                       |
| SHEET:<br><b>MISC. DETAILS</b>  |                       |
| SCALES @ A2:  |                       |
| SCALES @ A4:  | Half A2 scale         |
| REF:  |                       |
| DRAWN/START DATE:   | Author                |
| DRWG No:<br><b>S-13</b>   | REVISION:<br><b>A</b> |
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 s 9(2)(a) Corporation & Partners Ltd  
 PO Box 71 065 Rosebank Road  
 ph (08) 8200131  
 cell

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PROJECT: No: 201504  
**ISLAND BAY ROAD HOUSE**

6 Island Bay Road  
 Beach Haven  
 AUCKLAND

SHEET:  
**XLAM PANELS SIZES**

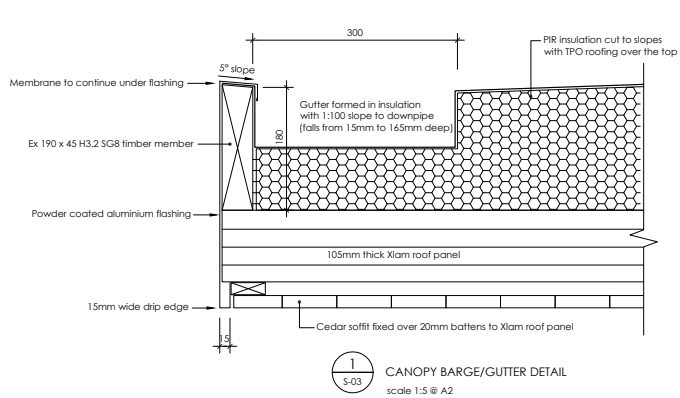
SCALES @ A2:  
 SCALES @ A4: Half A2 scale

REF:  
 DRAWN/START DATE: **Author**

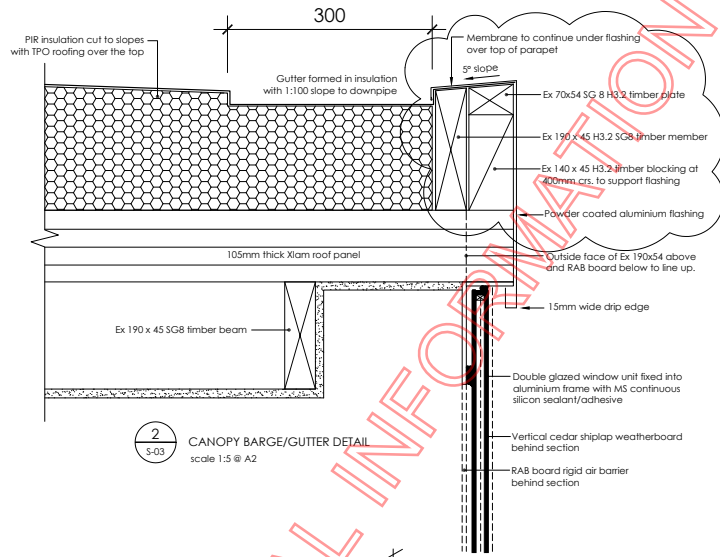
DRWG No: **S-14** REVISION: **A**

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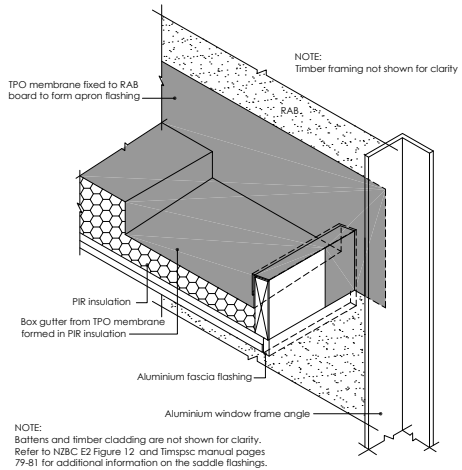
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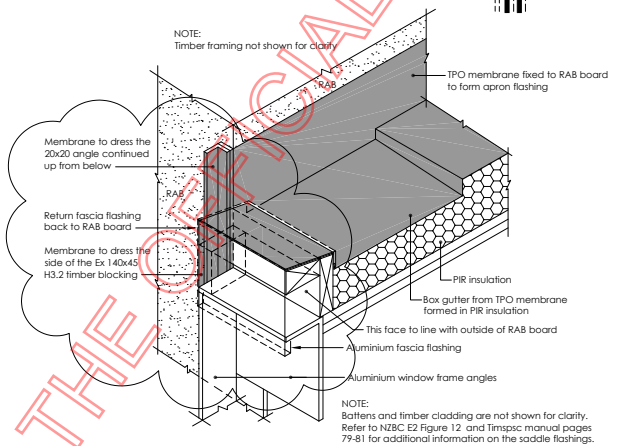
1  
S-03  
CANOPY BARGE/GUTTER DETAIL  
scale 1:5 @ A2



2  
S-03  
CANOPY BARGE/GUTTER DETAIL  
scale 1:5 @ A2

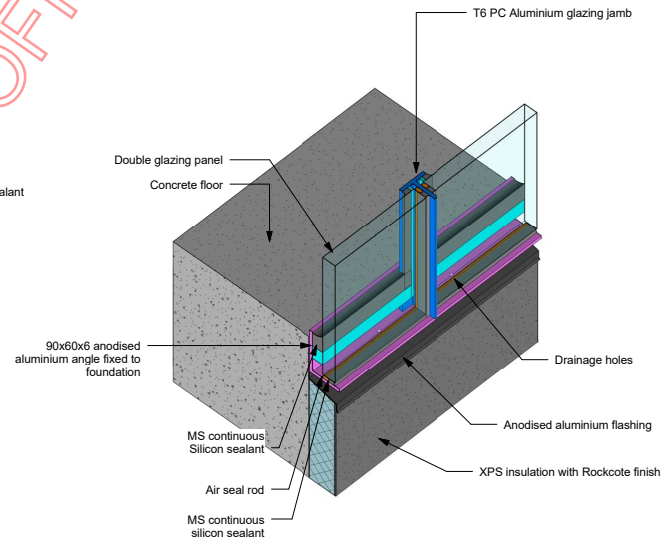
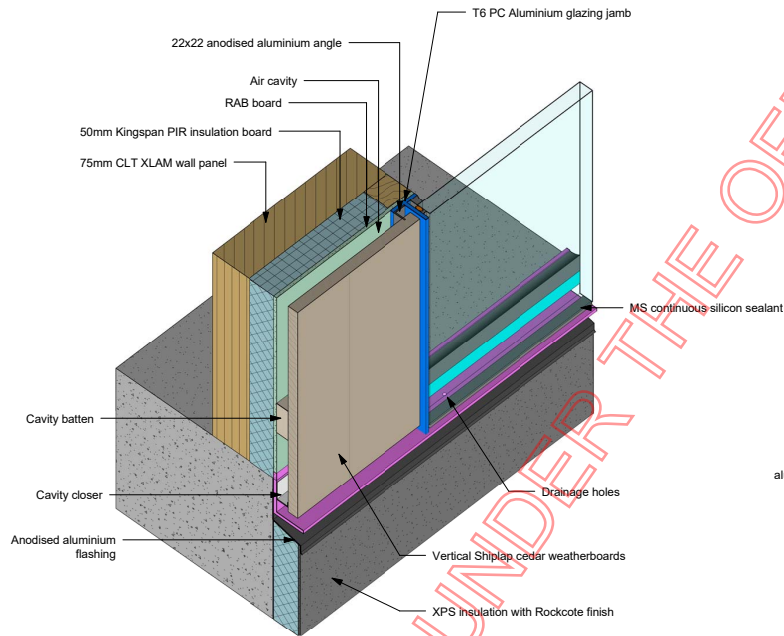
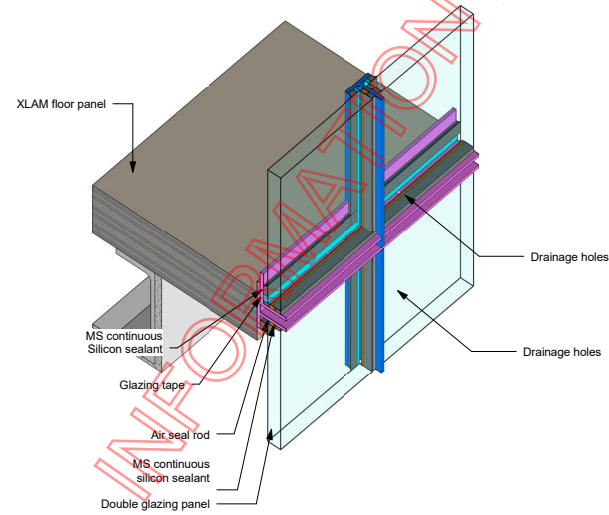
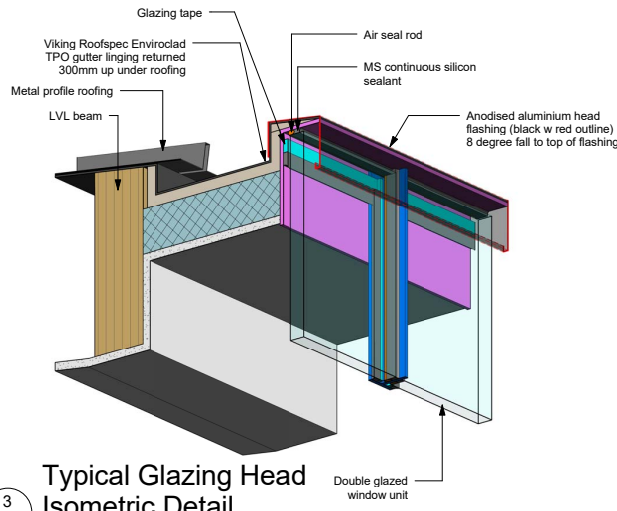


3  
S-03  
CANOPY BARGE SADDLE FLASHING DETAIL  
scale: NTS



4  
S-03  
CANOPY BARGE SADDLE FLASHING DETAIL  
scale: NTS

|  |               |
|--|---------------|
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| CONSULTANT:<br><b>s 9(2)(a)</b><br>Siskind Capper & Partners Ltd<br>PO Box 71 065 Rosebank Road<br>ph (09) 8200131<br>cell |               |
| NOTES:   |               |
| REVISION HISTORY:  |               |
| s 9(2)(a)  |               |
| PROJECT:   | No: 201504    |
| <b>ISLAND BAY ROAD HOUSE</b>   |               |
| 6 Island Bay Road<br>Beach Haven<br>AUCKLAND   |               |
| SHEET:<br><b>CANOPY DETAILS</b>  |               |
| SCALES @ A2:   |               |
| SCALES @ A4:   | Half A2 scale |
| REF:   |               |
| DRAWN/START DATE:  | Author        |
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| NOTES:  |
| C 23-08-2017  |
| B 28-02-2017  |
| REVISION HISTORY:   |
| s 9(2)(a)   |
| PROJECT: No: 201504<br>ISLAND BAY ROAD HOUSE                                      |
| 6 Island Bay Road, Beach Haven  |
| SHEET:<br>Typical Glazing Details   |
| SCALES @ A2:<br>SCALES @ A4: Half A2 scale  |
| REF:  |
| DRAWN/START DATE: Author  |
| DRWG No: A4-202 REVISION: C   |
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